



**4.3.5.2 Unit Type AP50-69.3.Y APPR 50-69 Unrenovated**

This two-story, three-bedroom eight-plex townhouse was built in 1970. It is of standard wood frame construction with a concrete slab on grade. Parking is provided on a surface parking lot.

at time of visit. This unit type has not received any renovation improvement work.

Exterior walls are wood and batten siding. This unit bears no historical designation. This unit was unoccupied

	Existing	Proposed
Floor Plan Type:	AP50-69.3.Y	AP50-69.3.Y
Gross Floor Area:	1533 sf	1533 sf
Net Floor Area:	1234 sf	1231 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2.5	2.5
Permanent Designation:	JNCO	SNCO
CAM Rating:	2.96	
FHU Assessed:	2052D Brooks Court	
Number of FHUs of this Type:	20	20

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingle; fair condition; shingles discolored from condensate, evaporative cooler; roof mounted on top of mechanical/storage addition.
- Roof Pitch: sloped; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: none; required; gutters and downspouts only located at mechanical/storage rooms in rear of building.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition; extends full height to underside of roof sheathing.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: wood batten board siding; deteriorated condition; paint is peeling from siding and in several places the siding has rotted at foundation level.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: joist; good condition; minor deflection at top of stairs.
- Windows - Frames: aluminum; deteriorated condition; dated windows, sliders difficult to operate.
- Windows - Glazing: single; deteriorated condition; bedroom windows do not provide emergency egress; poor insulating value.
- Windows - Screens: aluminum; poor condition.
- Doors - Entry: wood; fair condition; dated, flush door with many coats of paint.



*Right side elevation*



*Rear elevation*



*Kitchen*



Bathroom 1



Bathroom 2

- Doors - Sliding Glass: aluminum; deteriorated condition; difficult operation; no secondary locking device.
- Doors - Storm/Screen: aluminum; deteriorated condition; screening/glazing was missing from door.
- Doors - Hardware: brass; good condition; no dead bolt lock on entry door.

### Structural - Other Building Elements

- Garage/Carport: none; surface parking lot; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required for surface parking.
- Porch/Stoop: stoop; fair condition; cracked concrete.
- Patio/Deck: concrete; good condition; adequately sized.
- Balcony: none; not required.
- Storage Areas: wood; fair condition; deteriorated siding; located at rear of unit.
- Trash Enclosures: none; required to meet standard.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; provides adequate screening.
- Landscaping: grass and trees; poor condition; minimal trees and shrubs; small front yard.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 90 gallon; deteriorated condition; shared with adjacent unit; corroded at base; insufficient combustion air.
- Heating System: gas; poor condition; insufficient combustion air, panels rusted.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; fair condition; badly rusted.



- Ductwork: galvanized, insulated; deteriorated condition; badly rusted.
- Register/Diffusers: metal; deteriorated condition; damaged; painted finish prohibits operation.
- Fire Protection: none; required.
- Thermostat: electric; poor condition; painted; cracked cover.

### Electrical

- Electrical Panel: 100 amp; deteriorated condition; actual 125 amp; inadequately sized, 150 amp minimum required.
- Receptacles: 15 amp; poor condition; need 8 additional outlets.
- GFCI Receptacles/Breakers: none; required.
- Wiring: 3 wire; poor condition; not properly grounded, dated.
- Lighting Fixtures: incandescent; poor condition; needs updated; aged.
- Smoke Detectors: alternating current; deteriorated condition; alternating current with battery back-up required.
- CO Detectors: none; required.
- Phone Jacks: 4 wire; poor condition; some exposed wiring; need additional outlets.
- Cable Hookups: coaxial; poor condition; some exposed wiring; need additional outlets.
- Service Disconnect: 50 amp; deteriorated condition; actual 70 amp; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; deteriorated condition; at end of useful life.

### General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; fair condition; mismatching replacement tile; tile joints separating.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; fair condition; uneven, minor cracks.
- Wall Finish: painted; fair condition; aged appearance.
- Ceilings: gypsum wall board; fair condition; minor cracks.



*Bathroom 3*



- Ceiling Finish: painted; fair condition; aged appearance.
- Molding & Trim: wood; fair condition; worn, nicked.
- Stairs (Interior): wood; poor condition; tread finish worn.
- Doors - Interior: wood; fair condition; stain finish worn.
- Doors - Closet: wood; fair condition; stain finish worn.
- Window Treatment (Blinds): mini blinds; fair condition; some bent slats.
- Closet Shelving: wood; fair condition; many coats of paint.
- Interior Hardware: metal; fair condition; worn finish.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is galley style, no secondary eating area.

- Cabinets: wood; poor condition; dated cabinet with worn finishes.
- Counter Tops: laminated; fair condition; dated butcher-block pattern.
- Sink: stainless sink, double; poor condition; scratched finish.
- Sink Fixtures: metal; fair condition; scratched, stained.
- Refrigerator: standard; fair condition; worn interior.
- Range/Oven: gas; deteriorated condition; inoperable, broken down.
- Vent Hood: exhaust fan; deteriorated condition; dated through-wall unit.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; fair condition; worn; corroded case.
- Flooring: vinyl composite tile; poor condition; mismatching replacement tiles and separating tile joints.
- Walls: gypsum wall board; fair condition; some cracks.
- Wall Finish: painted; fair condition; aged appearance.

- Ceilings: gypsum wall board; fair condition; some cracks.
- Ceiling Finish: painted; fair condition; aged appearance.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; worn finish.
- Toilet: porcelain; fair condition; aged.
- Tub/Shower: combination; fair condition; ceramic tile surround; aged; poor tile installation.
- Flooring: vinyl sheet; fair condition; metal transition strip damaged; worn.
- Walls: gypsum wall board; fair condition; uneven.
- Wall Finish: painted; fair condition; aged appearance.
- Ceilings: gypsum wall board; fair condition; uneven; patching visible.
- Ceiling Finish: painted; fair condition; aged appearance.
- Ventilation: exhaust fan; fair condition; noisy.
- Interior Hardware: chrome; fair condition; worn finish.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; worn.
- Toilet: porcelain; fair condition; aged.
- Tub/Shower: none; required to meet standard.
- Flooring: vinyl sheet; fair condition; metal transition strip damaged; worn, dated.
- Walls: gypsum wall board; fair condition; uneven.

- Wall Finish: painted; fair condition; aged appearance.
- Ceilings: gypsum wall board; fair condition; some cracks.
- Ceiling Finish: painted; fair condition; aged appearance.
- Ventilation: exhaust fan; fair condition; noisy; older model.
- Interior Hardware: chrome; fair condition; worn finishes.

### Bathroom #3

Bathroom 3 is first floor half bath.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; corroded.
- Toilet: porcelain; good condition.
- Tub/Shower: none; not required.
- Flooring: vinyl sheet; poor condition; flooring worn.
- Walls: gypsum wall board; fair condition; uneven.
- Wall Finish: painted; fair condition; aged appearance.
- Ceilings: gypsum wall board; fair condition; some cracks.
- Ceiling Finish: painted; fair condition; aged appearance.
- Ventilation: exhaust fan; poor condition; older, noisy.
- Interior Hardware: metal; fair condition; worn finish.

### Laundry Room

- Location: bathroom; poor condition; adequate size; located unenclosed within the first floor half bathroom.
- Plumbing Hookup: standard; fair condition; older.
- Vent Hookup: standard; fair condition; older.

### Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit was constructed before 1977; therefore probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: none; not required; shared surface parking lot.
- Uncovered Parking Pads at House: asphalt, good condition; parking lot directly in front of buildings.
- Electrical Service from Transformer: underground residential distribution; good condition.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.

- Grading/Drainage: surface; fair condition; no gutters/downspouts on building; does not meet minimum 1-inch per foot slope in grade.

### House Plan Suitability

- Bedroom 1: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: substandard; undersized by 10 square feet; shares bathtub/shower with adjacent bathroom; minimal counter space.
- Bedroom 2: above standard; exceeds minimum area and dimension requirements; closet space meets standard; smoke detector in hall.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; shared bathroom with Bedroom 1.
- First Floor Bath for 2-Story House: standard; appropriate size for function; shared room with Laundry.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements; contiguous with Living Room.
- Living Room: standard; meets minimum area and dimension requirements; smoke detector serves Living/Dining Room.
- Kitchen: standard; meets minimum area and does not meet minimum dimension requirements by 4 inches; lacks secondary dining space; good relationship to living areas, outside space; minimal natural light; GFCI requirements not met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: none; surface parking lot faces unit; AF standard is two car garage if site allows.
- Overall Floor Plan: fair; appropriate size for occupying grade; appropriate functional relationships; inadequate entry closet space; lacks

separate linen closet for second floor bathroom; minimal interior storage.

- Architectural Aesthetics: poor; character, scale and massing is repetitive and lacks visual impact; lot size inadequate for additions; faces directly on parking lot.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation; provide new R-30 fiberglass batt in attic.
- Roof Covering: provide new asphalt shingles; replace flashing.
- Gutters/Downspouts: install new aluminum gutters, downspouts and concrete splashblocks around entire unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: provide new stucco finish.
- Floor Structure: provide new plywood subfloor over existing on second floor.
- Window - Frames: install new vinyl clad windows.
- Window - Glazing: provide new double glazed insulated windows adequately sized for emergency egress.
- Windows - Screen: provide screens with new window frames.
- Door - Entry: install new steel insulated door with wide-angle viewer.
- Doors - Sliding Glass: install new vinyl clad insulated patio door.
- Doors - Storm/Screen: install new aluminum storm/screen door.
- Doors - Hardware: install new dead bolt on exterior doors.

### Structural - Other Building Elements

- Porch/Stoop: replace concrete stoop per proposed plan.



- Storage Unit: remove wood siding and provide new stucco finish.
- Trash Enclosure: add trash enclosure with stucco finish per proposed plan.
- Landscaping: add climate appropriate landscape material.

## Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements; replumb water heater for dedicated service to unit.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with and electric condensing unit.
- Ductwork: replace ductwork system with galvanized insulated ductwork.
- Register/diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

## Electrical

- Electrical Panel: replace electric panel with 150 amp minimum panel.
- Receptacles: add additional and replace all receptacles with grounded 3 prong outlets.
- GFCI Receptacles/Breakers: add GFCI receptacles to Kitchen, bathrooms and exterior receptacles.
- Wiring: replace house wiring.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.

- CO Detectors: install hard wired, battery backed up CO detector near second floor sleeping areas, and one on first floor.
- Phone Jacks: replace and add phone jacks; conceal wiring.
- Cable Hookups: replace and add cable jacks; conceal wiring.
- Service Disconnect: replace service disconnect with 150 amp.
- Light Switches: replace light switches.

## General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: install carpet and pad in living areas, ceramic tile at entry.
- Walls: remove and replace existing gypsum wall board with new due to condition and rewiring of unit.
- Wall Finish: paint walls.
- Ceiling: remove and replace existing gypsum board with new due to condition and rewiring of unit.
- Ceiling Finish: paint ceilings.
- Molding & Trim: install new wood, stain grade trim.
- Stairs - Interior: provide carpet and pad over stairs.
- Doors - Interior: provide new wood, stain grade doors.
- Doors - Closet: provide new wood, stain grade doors.
- Window Treatment: install metal mini blinds.
- Closet Shelving: install new wire metal closet shelving; install with proper supports.
- Interior Hardware: replace interior hardware.

## Kitchen

See House Plan Suitability.

## Bathroom #1

See House Plan Suitability.

## Bathroom #2

See House Plan Suitability.

## Bathroom #3

See House Plan Suitability.

## Laundry Room

See House Plan Suitability.

## Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove exterior: doors, frames, wood trim and wood siding.
- Asbestos: test for asbestos; remove all roofing material, windows, vinyl composite tile and mastic, cove base and mastic, gypsum wall board and joint compound, light fixtures and backing, HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

## House Sitework

- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: provide top soil around entire unit, regrade and seed for proper slope for drainage away from foundation.

## House Plan Suitability

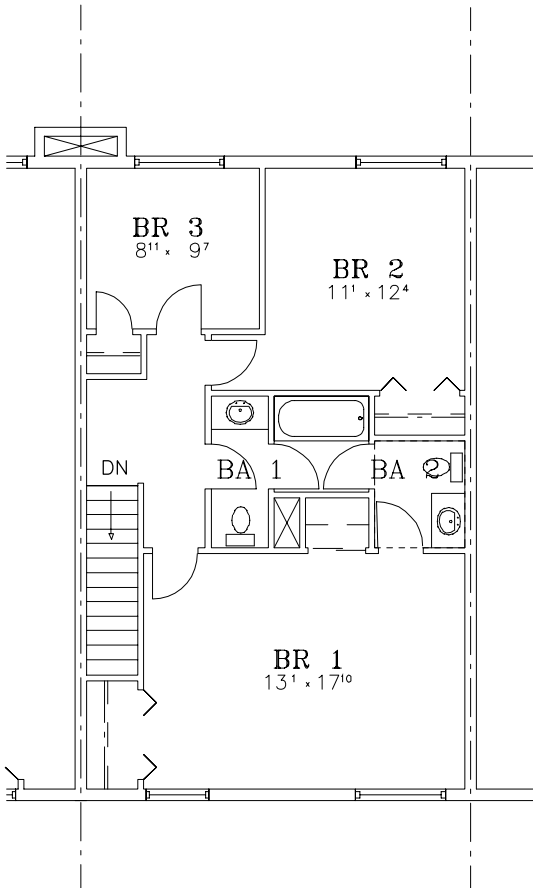
- Bathroom for Bedroom 1: reduce size of Bedroom 1 to enlarge bathroom; provide new wood vanity with cultured marble counter, molded bowl and new fixture hardware; install new toilet; install new tub/shower with ceramic tile surround; install ceramic tile flooring and base; provide new gypsum wall board walls and ceiling due to condition and rewire of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct to exterior louver; install new toilet accessories.
- Bathroom for Bedroom 2,3,4: relocate due to the creation of master bathroom; provide new wood vanity with cultured marble counter, molded bowl and new fixture hardware; install new toilet; install new tub/shower with ceramic tile surround; install ceramic tile flooring and base; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct and exterior louver; install new toilet accessories.
- First Floor Bath for 2-Story House: provide separate half bath per proposed plan; install new sink fixture hardware; install new ceramic tile flooring and base; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct and exterior louver; install new toilet accessories.
- Kitchen: enlarge Kitchen and provide a secondary eat-at counter; install new wood base and wall cabinets; provide new laminated counter tops; install new double bowl stainless steel sink and new fixture hardware; provide new refrigerator, gas range/oven, new garbage disposal and new vent hood/Kitchen exhaust with duct to outside louver; remove and patch opening from wall mounted fan; install ceramic tile flooring and base; install new gypsum wall board walls and ceiling due to condition and rewiring of unit; paint new gypsum wall board walls and ceiling install new toilet accessories; per proposed plan.
- Covered Parking: site does not allow garage or carport.
- Overall Plan: convert all units to SNCO rank; remove wall under stair to provide additional interior storage; provide additional entry closet adjacent to entry;

relocate Laundry to closet on second floor, provide metal overflow pan under appliances with hard pipe to new floor drain; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit, paint new gypsum wall board walls and ceiling, provide new plumbing and vent hookups, install new wood wall cabinets; provide linen closet on second floor per proposed plan.

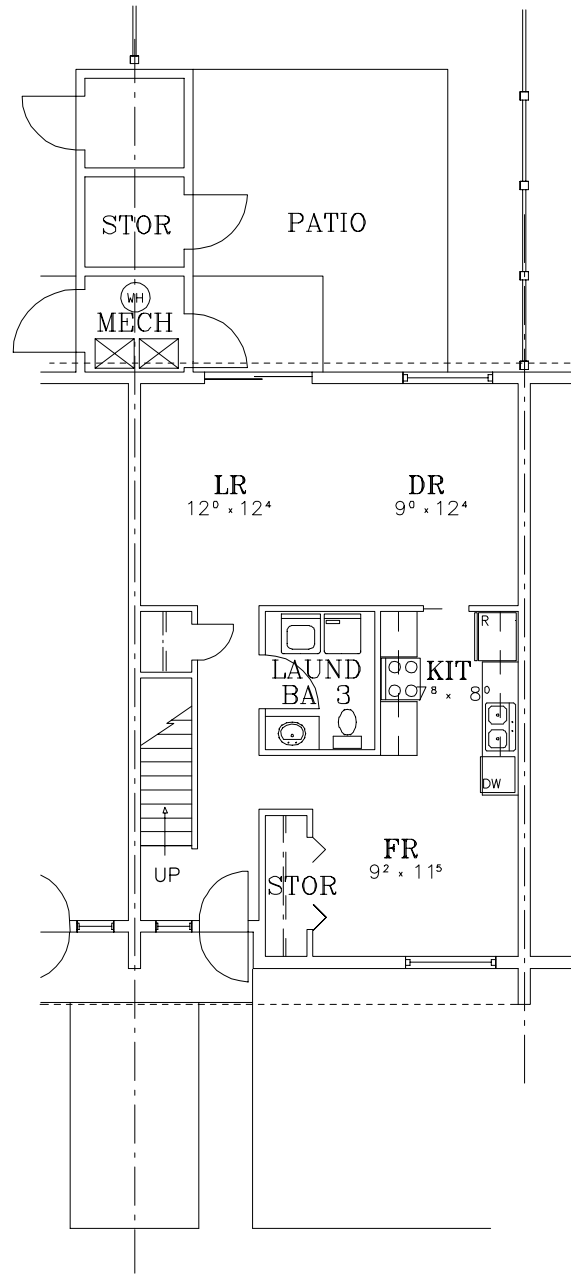
- Architectural Aesthetics: provide window shutters for detail; new stucco finish will enhance appearance of unit; provide covered entry to enhance front elevation by reducing the scale and breaking up the repetitive fascade; provide new screen wall at unit front to screen parking lot.



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SECOND FLOOR PLAN

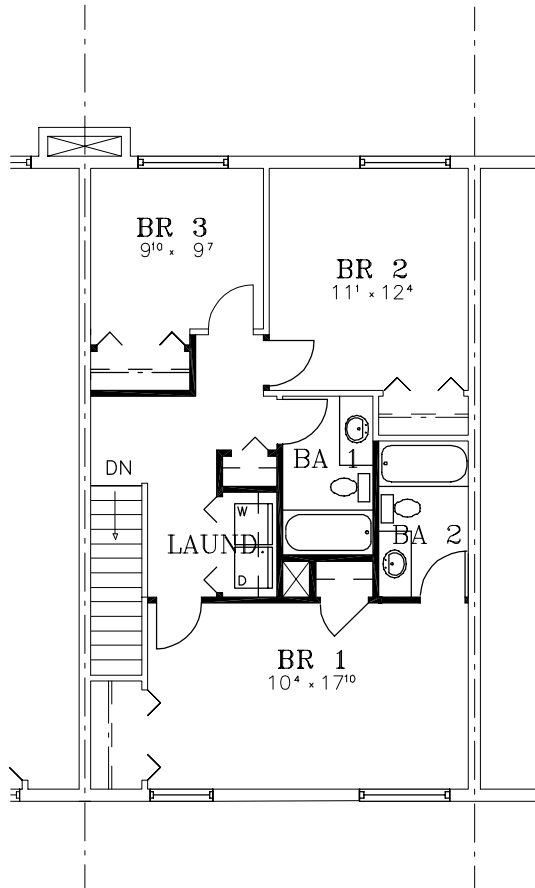


FIRST FLOOR PLAN

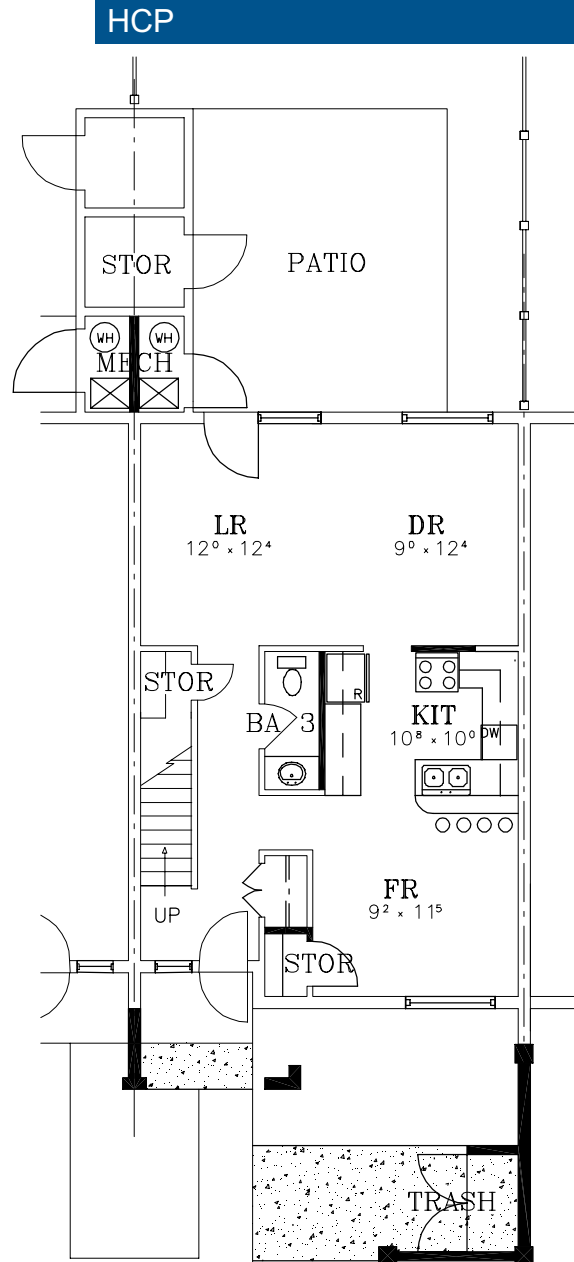
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**Unit Type AP50-69.3.Y**  
**3 BR JNCO**

GROSS SF: 1533  
 NET SF: 1234

**EXISTING**



SECOND FLOOR PLAN



FIRST FLOOR PLAN



**Unit Type AP50.69.3.Y**  
**3 BR SNCO**

GROSS SF: 1533  
NET SF: 1231

**PROPOSED**



### 4.3.5.2.1 Unit Type AP50-69.3.Y

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$4,513
Structural/Foundation/Exterior Walls	\$14,799
Structural/Other Building Elements	\$9,264
Mechanical	\$8,925
Electrical	\$9,640
General/All but Kitchen, Baths, Laundry	\$21,624
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,674
House Sitework	\$4,444
House Plan Suitability	\$39,478
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$120,361</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$117,953</b>
<b>SIOH @3.00%</b>	<b>\$3,539</b>
<b>Contingency @5.00%</b>	<b>\$6,075</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$127,567</b>
<b>Escalation @3.33%</b>	<b>\$4,248</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$131,815</b>



#### 4.3.5.3 Unit Type AP 50-69.4.X APPR 50-69 Unrenovated

This two-story, four-bedroom eight-plex townhouse was built in 1970. It is of standard wood frame construction with a concrete slab on grade. Parking is provided in a surface parking lot.

This unit was unoccupied at time of visit. This unit type has not received any renovation improvement work.

Exterior walls are vertical batten board siding. This unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	AP50-69.4.X	AP50-69.3.X.2
Gross Floor Area:	1536 sf	1536 sf
Net Floor Area:	1248 sf	1231 sf
Number of Bedrooms:	4	3
Number of Bathrooms:	2.5	2.5
Permanent Designation:	JNCO	SNCO
CAM Rating:	2.92	
FHU Assessed:	2052F Brooks Court	
Number of FHUs of this Type:	8	8

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; fair condition; shingles discolored from condensation; evaporative cooler roof mounted on top of mechanical/storage addition, see Mechanical.
- Roof Pitch: sloped; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: none; required; gutters and downspouts only located at mechanical/storage roof in rear of unit.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition; fire rated drywall extends to underside of roof sheathing.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; fair condition. 10 percent of exterior wall covering has deteriorated and has possibly caused minor damage to the wall structure.
- Exterior Wall Covering: vertical wood batten board siding; deteriorated condition; siding is splintered, pulled away from nails, curled up at edges and has paint peeling.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: joist; good condition.
- Windows - Frames: aluminum; deteriorated condition; window finish has corroded; sliders are hard to operate.
- Windows - Glazing: single; poor condition; windows are lacking proper weather-stripping; windows do not provide proper insulating value; bedroom windows provide emergency egress.



*Right side elevation*



*Rear elevation*



*Kitchen*





Bathroom 1



Bathroom 2

- Windows - Screens: aluminum; deteriorated condition; screens are either bent, torn, or missing.
- Doors - Entry: wood; fair condition; multiple coats of paint.
- Doors - Sliding Glass: metal; deteriorated condition; dated door with no secondary locking device; single glazing.
- Doors - Storm/Screen: aluminum; poor condition; dated screen door.
- Doors - Hardware: brass; fair condition; entry door does not have dead bolt.

### Structural - Other Building Elements

- Garage/Carport: none; surface parking lot; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required with surface parking.
- Porch/Stoop: stoop; good condition; located at front and rear of house.
- Patio/Deck: concrete; fair condition; the original stoop was left in place when new patio was installed 4-inches lower; reduces functional area of patio and presents potential tripping hazard.
- Balcony: none; not required.
- Storage Areas: wood; fair condition; located at rear of house; batten board siding in poor condition.
- Trash Enclosures: none; required; trash is visible from unit/parking; located on concrete slab at entry.
- Stairs (Exterior): none; not required.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing provides private outdoor space.
- Landscaping: grass and trees; fair condition; minimal mature trees and shrubs; minimal front yard.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.

- Water Heater: gas, 90 gallon; fair condition; shared with adjacent unit; corroded at base; insufficient combustion air.
- Heating System: gas; deteriorated condition; insufficient combustion air; corroded.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; fair condition; some corrosion at base.
- Ductwork: galvanized; deteriorated condition; contains solid particulate material; heavily rusted.
- Register/Diffusers: metal; deteriorated condition; painted; dented.
- Fire Protection: none; required.
- Thermostat: mercury; fair condition; painted; cover cracked.

### Electrical

- Electrical Panel: 100 amp; deteriorated condition; inadequately sized; 150 amp minimum required.
- Receptacles: 15 amp; deteriorated condition; some 2-prong receptacles in used, need 10 additional.
- GFCI Receptacles/Breakers: none; required.
- Wiring: 3 wire; poor condition; not properly grounded; dated.
- Lighting Fixtures: incandescent and fluorescent; deteriorated condition; nearing end of useful life.
- Smoke Detectors: alternating current; deteriorated condition; battery back-up required.
- CO Detectors: none; required.
- Phone Jacks: 4 wire; deteriorated condition; some exposed wiring; need additional outlets.
- Cable Hookups: coaxial; deteriorated condition; some exposed wiring; need additional outlets.
- Service Disconnect: 50 amp; deteriorated condition; actual 70 amp; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; deteriorated condition; near end of useful life.

### General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; fair condition; some wear; uneven.
- Flooring - Wood: none; not required.



Bathroom 2



Bathroom 3

- Walls: gypsum wall board; good condition.
- Wall Finish: painted; fair condition; textured painted; aged appearance.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; fair condition; textured paint.
- Molding & Trim: wood; fair condition; painted worn base and door casing.
- Stairs (Interior): wood; fair condition; stairs have had non skid surface applied to tread; finish worn.
- Doors - Interior: wood; fair condition; multiple coats of paint.
- Doors - Closet: wood; fair condition; multiple coats of paint.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; fair condition; shelving appears to need additional mid-span support.
- Interior Hardware: metal; fair condition; hardware have been painted over.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is gallery style without secondary eating area.

- Cabinets: wood; fair condition; interior and exterior finish worn.
- Counter Tops: laminated; fair condition; dated butcher block pattern.
- Sink: stainless sink, double; fair condition; scratched finish.
- Sink Fixtures: metal; fair condition; corroded.
- Refrigerator: standard; fair condition; missing parts.
- Range/Oven: gas; fair condition; older model.
- Vent Hood: none; required; exhaust fan through wall; noisy.
- Dishwasher: standard; fair condition.
- Garbage Disposal: standard; fair condition; dated.
- Flooring: vinyl composite tile; fair condition; worn appearance.
- Walls: gypsum wall board; fair condition; visible patching.
- Wall Finish: painted; fair condition; multiple coats.

- Ceilings: gypsum wall board; fair condition; minor cracks.
- Ceiling Finish: paint, fair condition; multiple coats.
- Interior Hardware: metal; fair condition; worn finish.

## Bathroom #1

Bathroom 1 serves Bedrooms 2, 3 and 4.

- Cabinets: none; required; medicine cabinet in poor condition; wall mounted.
- Counters: none; required.
- Sink: wall mounted; fair condition; porcelain; does not meet AF standards.
- Fixture Hardware: metal; fair condition; slightly corroded.
- Toilet: porcelain; fair condition; stained.
- Tub/Shower: combination; fair condition; fiberglass surround is scratched.
- Flooring: vinyl composite tile; fair condition; worn appearance.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; fair condition; rough finish.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; fair condition.
- Ventilation: exhaust fan; fair condition; noisy.
- Interior Hardware: metal; fair condition; worn finish.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: none; required.
- Counters: none; required.
- Sink: wall mounted porcelain; fair condition; does not meet AF standards.
- Fixture Hardware: metal; poor condition; fixtures corroded.
- Toilet: porcelain; fair condition; older fixture.
- Tub/Shower: fiberglass; fair condition; shower surround scratched.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.

- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; deteriorated condition; dated.
- Interior Hardware: metal; fair condition; worn finish.

### Bathroom #3

Bathroom 3 serves first floor half bath.

- Cabinets: none; required; medicine cabinet in poor condition; worn interior finish.
- Counters: none; required.
- Sink: wall mounted porcelain; fair condition; does not meet AF standards.
- Fixture Hardware: metal; fair condition; fixtures corroded.
- Toilet: porcelain; fair condition; outdated.
- Tub/Shower: none; not required in first floor half bath.
- Flooring: vinyl composite tile; fair condition; worn.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; dated.
- Interior Hardware: metal; fair condition; worn finish.

### Laundry Room

- Location: bathroom; fair condition; shared room with first floor half bath; adequate size; no shelving provided.
- Plumbing Hookup: standard; fair condition; dated hookup.
- Vent Hookup: standard; fair condition; clogged.

### Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987, therefore probability of lead content is moderate; tests indicate no lead in the water.

- Lead Based Paint: unit constructed before 1977, therefore probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: none; surface parking lot in front of unit.
- Uncovered Parking Pads at House: asphalt; good condition; off-street parking located in front of building.
- Electrical Service from Transformer: underground residential distribution; good condition.
- Water Service Lateral from Main: copper; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundation; foundation is not 8-inches above grade.

### House Plan Suitability

- Bedroom 1: standard; meets minimum area and minimum dimension; closet space meets requirements; smoke detector in hall.
- Bathroom for Bedroom 1: substandard. 4' wide dimension; no counter space; no GFCI receptacles.
- Bedroom 2: substandard; meets minimum area but not minimum dimension by 12"; closet space exceeds requirements; smoke detector in hall.
- Bedroom 3: substandard; does not meet minimum area by 12 sf and meets dimension; closet space does meet requirements; smoke detector in hall.
- Bedroom 4: standard; meets minimum area and dimension; closet space exceeds minimum; smoke detector in hall; bedroom window does not allow emergency egress.
- Bathroom for Bedroom 2,3,4: substandard; inappropriate size for function. 6'-9" length; no counter space; no GFCI receptacles.
- First Floor Bath for 2-Story House: standard; appropriate size for function; no counter space; located in Laundry.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements; contiguous with Living Room.
- Living Room: standard; meets minimum area and dimension requirements; smoke detector serves first floor.
- Kitchen: standard; meets minimum area and dimensions requirements; no secondary eating area; good relationship to living areas; central location; no direct access to outside space or natural light; cabinets meet minimal requirements; no GFCI receptacles.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: none; AF standard is two car garage if site allows.
- Overall Floor Plan: fair; appropriate size for occupying grade; appropriate functional relationships; appropriate egress except for bedroom 4; inadequate entry closet space; minimal interior storage.

- Architectural Aesthetics: fair condition; character, scale and massing is repetitive and lacks visual impact; lot size inadequate for additions; faces directly on parking lot.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt in attic.
- Roof Covering: provide new asphalt shingles; replace flashing.
- Gutters/Downspouts: install aluminum gutters, downspouts and concrete splashblocks around entire unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: replace 10 percent of water damaged framing.
- Exterior Wall Covering: provide new stucco finish; provide new exterior grade sheathing for 10 percent of exterior wall.
- Window - Frames: install new vinyl clad windows.
- Window - Glazing: install double glazed insulated new windows.
- Windows - Screen: provide new screens with new window frames.
- Door - Entry: install new steel insulated door with wide-angle viewer.
- Doors - Sliding Glass: install new vinyl clad insulated patio doors with full lights.
- Doors - Storm/Screen: install aluminum screen/storm door.
- Doors - Hardware: install new dead bolt on exterior doors.

### Structural - Other Building Elements

- Patio/Deck: provide new concrete over existing to level patio.



- Storage Area: provide new stucco finish to match unit.
- Trash Enclosure: add trash enclosure to front of unit per proposed plan.
- Landscaping: add climate appropriate landscape material.

## Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements; replumb water heater for dedicated service to unit.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Register/Diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

## Electrical

- Electrical Panel: replace electric panel with 150 amp minimum panel.
- Receptacles: add additional and replace existing receptacles and with grounded 3 prong outlets.
- GFCI Receptacles/Breakers: add GFCI receptacles to Kitchen, bathrooms and exterior receptacles.
- Wiring: replace house wiring.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.

- CO Detectors: install hard wired, battery backed up CO detector near second floor sleeping areas, and one on first floor.
- Phone Jacks: replace and add phone jacks; conceal wiring.
- Cable Hookups: replace and add cable jacks; conceal wiring.
- Service Disconnect: replace service disconnect with 150 amp.
- Light Switches: replace light switches.

## General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: install carpet in living areas, ceramic tile at entry.
- Walls: remove and replace existing gypsum wall board with new due to rewiring of unit.
- Wall Finish: paint walls.
- Ceilings: remove and replace existing gypsum board with new due to rewiring of unit.
- Ceilings Finish: paint ceilings.
- Molding & Trim: install new wood paint grade trim.
- Stairs - Interior: install carpet/pad over existing stairs.
- Doors - Interior: provide paint grade wood doors.
- Doors - Closet: provide paint grade wood doors.
- Closet Shelving: install new metal wire closet shelving; install with proper support.
- Interior Hardware: provide new interior hardware.

## Kitchen

See House Plan Suitability.

## Bathroom #1

See House Plan Suitability.



## Bathroom #2

See House Plan Suitability.

## Bathroom #3

See House Plan Suitability.

- Flooring: provide new ceramic floor tile.

## Laundry Room

See House Plan Suitability.

## Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove exterior: doors, frames, wood trim and wood siding.
- Asbestos: test for asbestos; remove all roofing material, windows, vinyl composite tile and mastic, cove base and mastic, gypsum wall board and joint compound, light fixtures and backing, HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

## House Sitework

- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed slope around unit for proper drainage away from foundation.

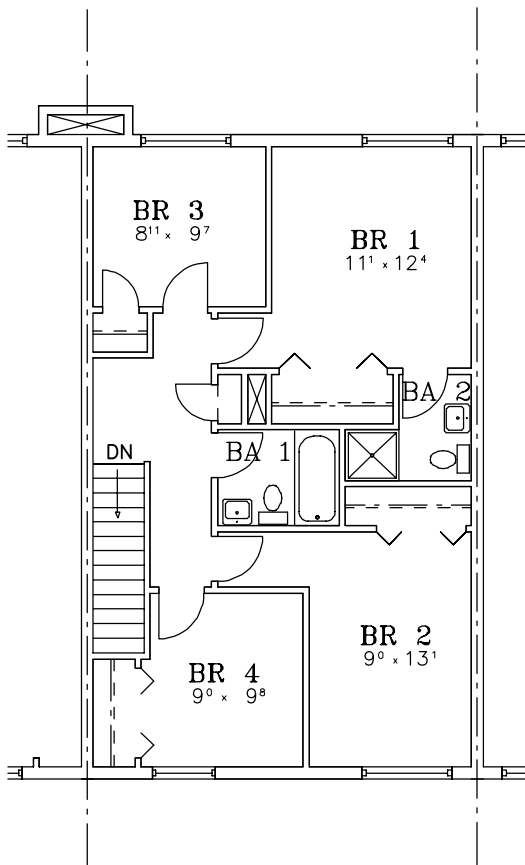
## House Plan Suitability

- Bathroom for Bedroom 1: reconfigure bathroom; see proposed plan; install new wood vanity; install cultured marble counter top and culture marble molded bowl; install new fixture hardware; install new toilet; install new tub with ceramic tile surround; install ceramic tile floor and base; provide new gypsum wall board walls and ceiling due to rewiring of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct and exterior louver; install new toilet accessories.
- Bedroom 2: relocate Bedroom 2 to Bedroom 1; see proposed plan.
- Bedroom 3: reconfigure Bedroom 3; enlarge closet space; see proposed plan.
- Bathroom for Bedroom 2,3,4: reconfigure of Bathroom 1 to meet minimum dimension requirements; relocate plumbing, see proposed plan; install new wood vanity and medicine cabinet; install cultured marble counter top and cultured marble molded bowl; install new fixture hardware; install new toilet; install new tub with ceramic tile surround; install ceramic tile flooring and base; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct and exterior louver; install new toilet accessories.
- First Floor Bath for 2-Story House: install new wood vanity and new medicine cabinet; install plastic laminate counter top; install porcelain sink and new fixture hardware; install new toilet; provide new gypsum wall board walls and ceiling due to rewiring of unit; paint new gypsum wall board walls and ceiling; install new exhaust fan; provide duct and exterior louver; install new toilet accessories.
- Kitchen: enlarge due to relocation of Laundry and Bathroom 3 remodel; provide counter between Family Room/Kitchen as secondary eating area; install new wood base/wall cabinets; provide new laminated counter top; install new double bowl stainless steel sink and new fixtures; install new refrigerator, new range/oven, new vent hood/Kitchen exhaust, new dishwasher and new garbage disposal;

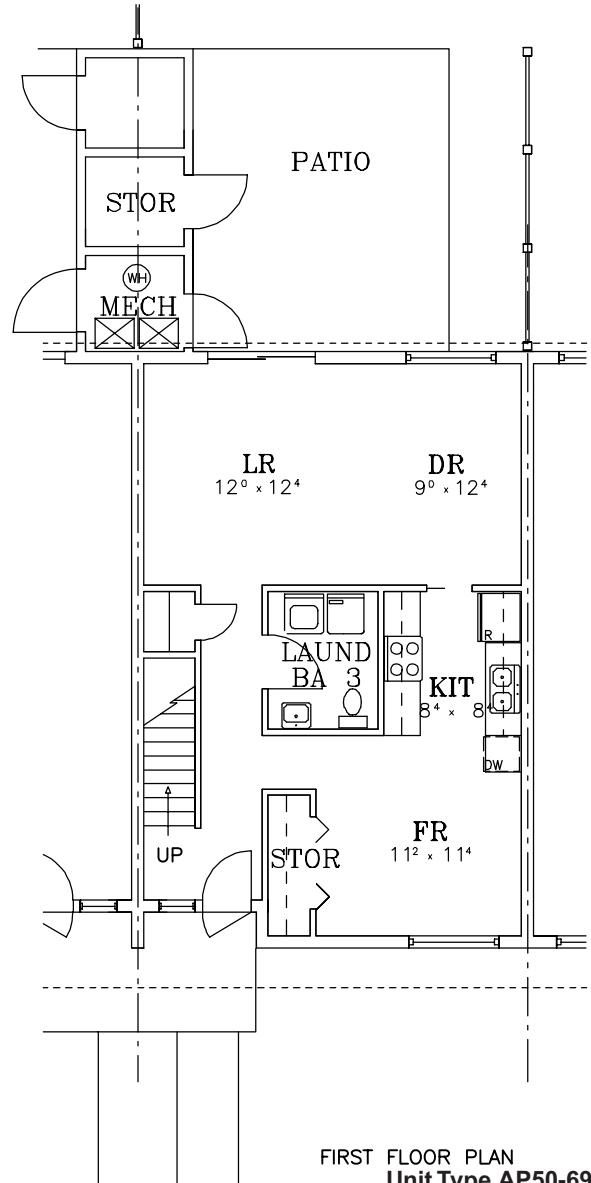
install ceramic tile flooring and base; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit; paint new gypsum wall board walls and ceiling.

- Overall Parking: site does not allow garage or carport.
- Overall Plan: convert all units to 3-bedroom SNCO units; provide additional entry closet space adjacent to entry; relocate linen closet; remove wall under stair to provide additional interior storage; relocate Laundry to separate closet on second floor; provide metal overflow pan under appliances with hard pipe to new floor drain; provide new gypsum wall board walls and ceiling due to condition and rewiring of unit; install new wood wall cabinets; install new plumbing and vent hookups.
- Architectural Aesthetics: provide window shutters for detail; new stucco finish will enhance appearance of unit; provide covered entry to enhance front elevation by reducing scale and breaking up the repetitive fascade; provide new screen wall at unit front to screen parking lot.

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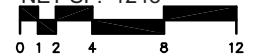


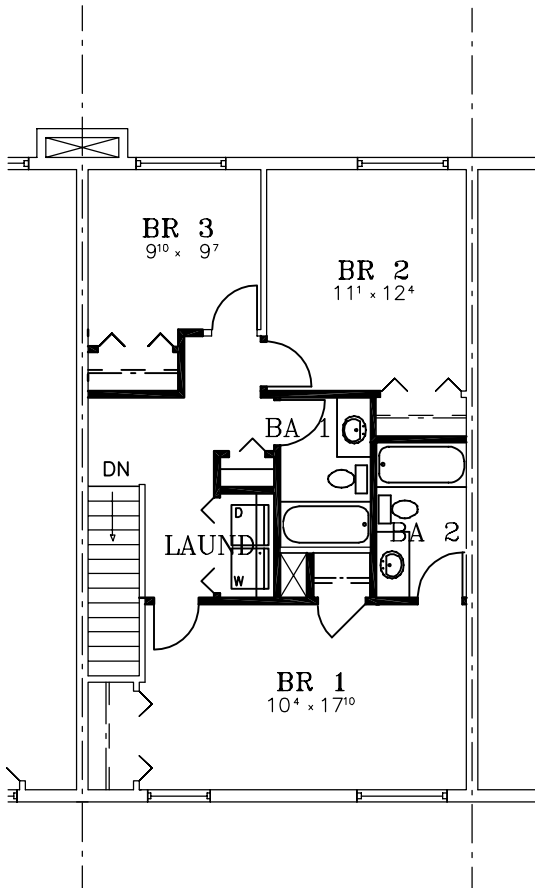
SECOND FLOOR PLAN



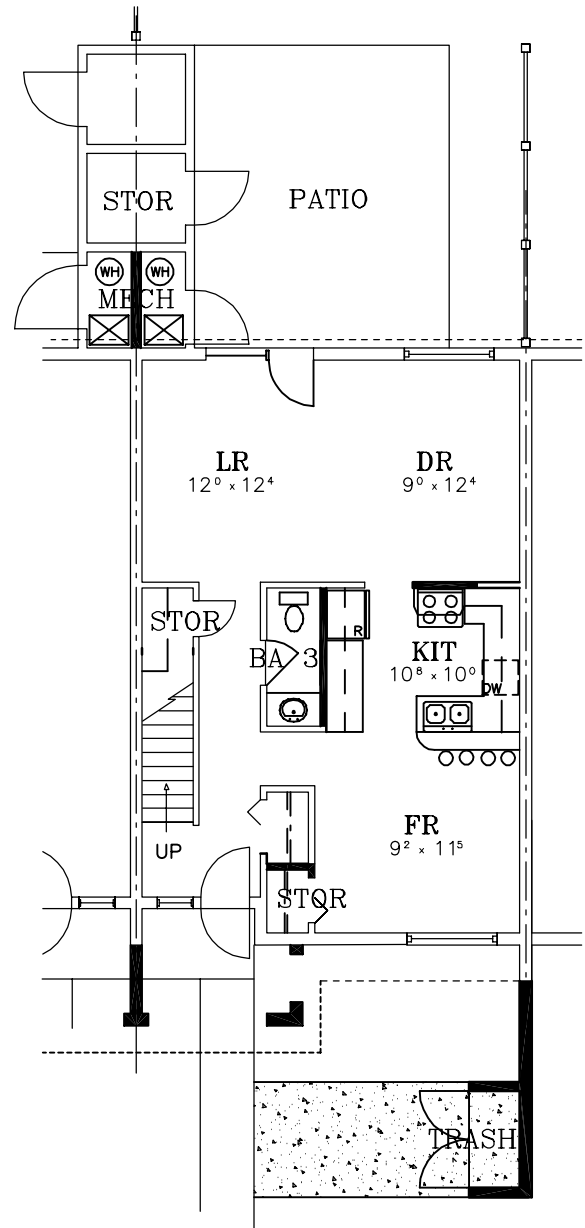
FIRST FLOOR PLAN  
**Unit Type AP50-69.4.X**  
**4 BR JNCO**

GROSS SF: 1536  
 NET SF: 1248

**EXISTING**



SECOND FLOOR PLAN



FIRST FLOOR PLAN



Unit Type AP50-69.3.X.2  
3 BR SNCO

GROSS SF: 1536  
NET SF: 1231

**PROPOSED**





### **4.3.6 Capehart 2500-2600 Area**

Capehart 2500-2600 Area housing consists of all duplex ranch style units.

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#### 4.3.6.1 Unit Type CP.2 Capehart 2500-2600 Area

This one-story, two-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Exterior walls are stucco with brick veneer accent. Unit has an attached one car carport. This unit bears no historical designation.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

	Existing	Proposed
Floor Plan Type:	CP.2	CP.2
Gross Floor Area:	1148 sf	1148 sf
Net Floor Area:	999 sf	999 sf
Number of Bedrooms:	2	2
Number of Bathrooms:	1	1
Permanent Designation:	JNCO	JNCO
CAM Rating:	3.62	
FHU Assessed:	2504A Catron Loop	
Number of FHUs of this Type:	26	26

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7 inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; fair condition; condensation from coolers has discolored shingles; existing evaporative coolers are mounted on top of roof; see Mechanical.
- Roof Pitch: sloped roof; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: brick; good condition; minor masonry cracking.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; fair condition; poor weather stripping.
- Doors - Sliding Glass: metal; good condition; patio doors; no secondary locking device.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; good condition; entry door has no dead bolt.



*Right side elevation*



*Rear elevation*



*Left side elevation*





Kitchen



Bathroom 1

### Structural - Other Building Elements

- Garage/Carport: single carport; good condition; meets minimum dimensions; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required for carport.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; good condition; two patio areas are provided, both adequately sized; the rear patio is not properly screened to provide private outdoor living space.
- Balcony: none; not required.
- Storage Areas: concrete masonry units; good condition; located behind carport.
- Trash Enclosures: brick; good condition; located on patio and visible from Living Room; resident used front of carport.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: chain link; fair condition; fencing at center of duplex; does not provide privacy.
- Landscaping: grass and trees; fair condition; a few mature trees and two shrubs in front.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately seven years old.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; fair condition; severely corroded.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: electric; fair condition; painted; cover cracked.

## Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo, inadequately sized, 150 amp minimum required.
- Receptacles: 15 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up; CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; fair condition; need 2 additional.
- Cable Hookups: coaxial; fair condition; need 1 additional.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; fair condition; some mismatched tiles.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; multiple coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; fair condition; slightly worn finish.
- Doors - Closet: bifold; fair condition; slightly worn finish.
- Window Treatment (Blinds): mini blinds; good condition.

- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped. Secondary eating area not required for this unit.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composite tile; fair condition; uneven.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 1 and 2.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composite tile; fair condition; uneven.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.



- Interior Hardware: metal; fair condition; worn finish.

### Bathroom #2

- None; not required for this unit type.

### Bathroom #3

- None; not required for this unit type.

### Laundry Room

- Location: closet; good condition; adjacent to the Kitchen.
- Flooring: vinyl composite tile; fair condition; uneven.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: metal; good condition.
- Interior Hardware: metal; good condition.

### Special Assessments

- Water Quality (Lead): unit was constructed between 1920 and 1987; therefore probability of lead content is moderate; test indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.

- Radon: unit located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; driveway will not accommodate two cars.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundation; foundation is not 8 inches above grade.

### House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: none; not required.
- Bedroom 2: standard; meet minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: none; not required.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; adequate counter.
- First Floor Bath for 2-Story House: none; not required for one-story house.

- Family Room: none; not required for two-bedroom house.
- Dining Room: above standard; exceeds minimum area and dimension requirements; continuous with Living Room.
- Living Room: above standard; exceeds minimum area and dimension requirements; smoke detector serves first floor.
- Kitchen: standard; meets minimum area and dimension requirements; good relationship to living areas, adjacent to outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single carport only (or none); AF standard is a two car garage if site allows.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; adequate entry closet space; two separate closets provide adequate interior storage.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; lacks trim/detail at windows and entry; suitable for future additions.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide new R-30 fiberglass batt in attic.
- Roof Covering: replace discolored shingles.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: continue to monitor cracks.
- Doors - Entry: install weather stripping.
- Doors - Sliding Glass: provide dead bolt for patio doors.
- Door Hardware: provide dead bolt for entry door.

### Structural - Other Building Elements

- Patio/Deck: see privacy fence.
- Trash Enclosure: reconfigure exterior storage to provide trash enclosure per proposed plan.
- Privacy Fence: install new privacy fence to screen patio per proposed plan.
- Landscaping: plant climate appropriate landscaping around foundation.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirement.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Phone Jacks: add a telephone jack in bedroom and Living Room.
- Cable Hookups: add one additional cable hookup in bedroom.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

**General - All but Kitchen, Baths, Laundry**

- Flooring - Vinyl: install carpet pad in living spaces, ceramic tile at entry.
- Molding & Trim: install new paint grade molding and door casings.
- Doors - Interior: refinish existing doors; restain and varnish.
- Doors - Closet: refinish existing doors; re-stain and varnish.

**Kitchen**

- Flooring: remove existing vinyl composition tile and install ceramic tile floor.

**Bathroom #1**

- Flooring: remove existing vinyl composition tile and install ceramic tile floor.
- Interior Hardware: install new interior hardware.

**Bathroom #2**

No recommendations.

**Bathroom #3**

No recommendations.

**Laundry Room**

- Flooring: remove existing vinyl composition tile and install ceramic tile floor and install ceramic tile floor.

**Special Assessments**

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composite

tile and mastic, cove base and mastic, HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixture are in good condition.

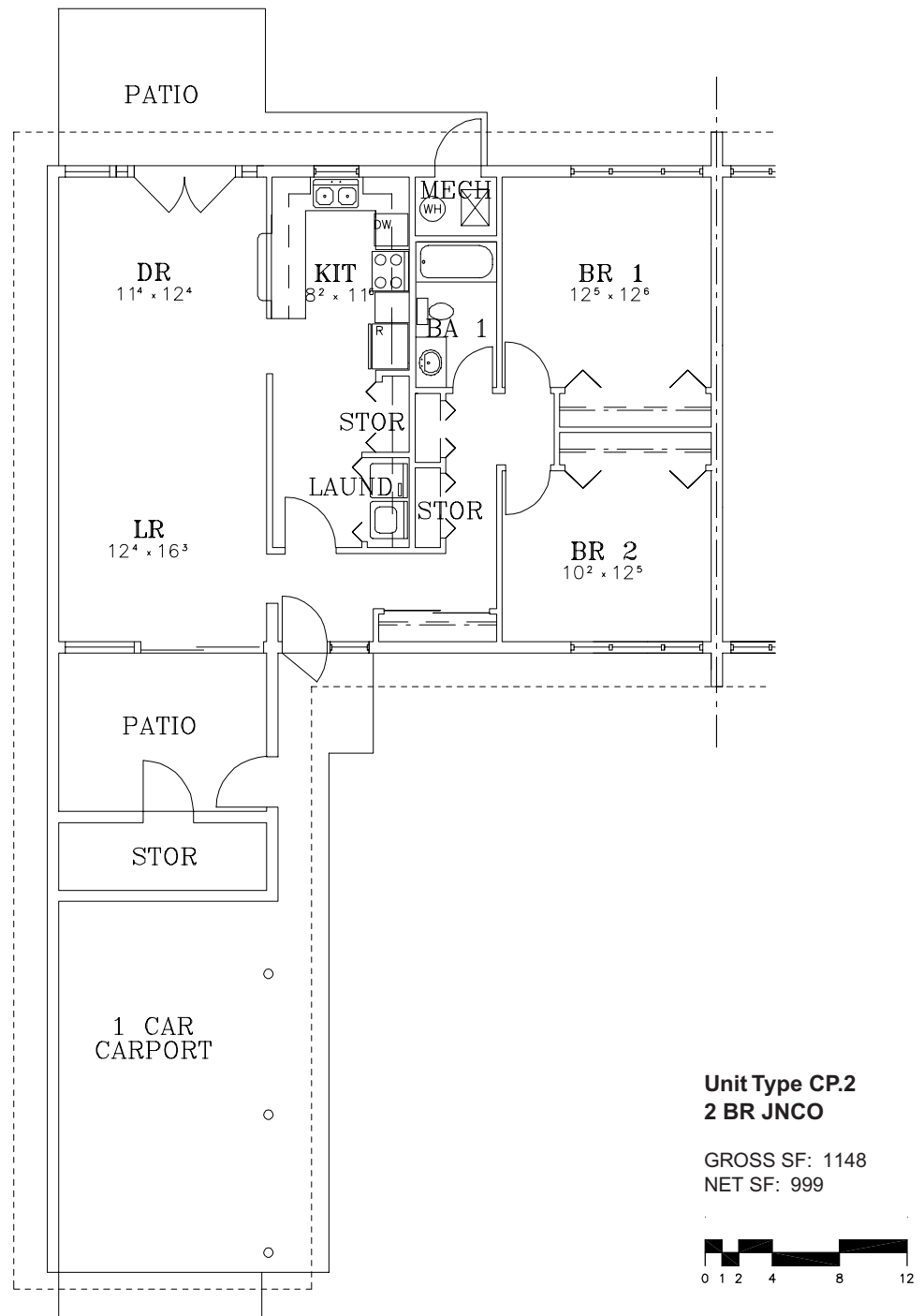
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

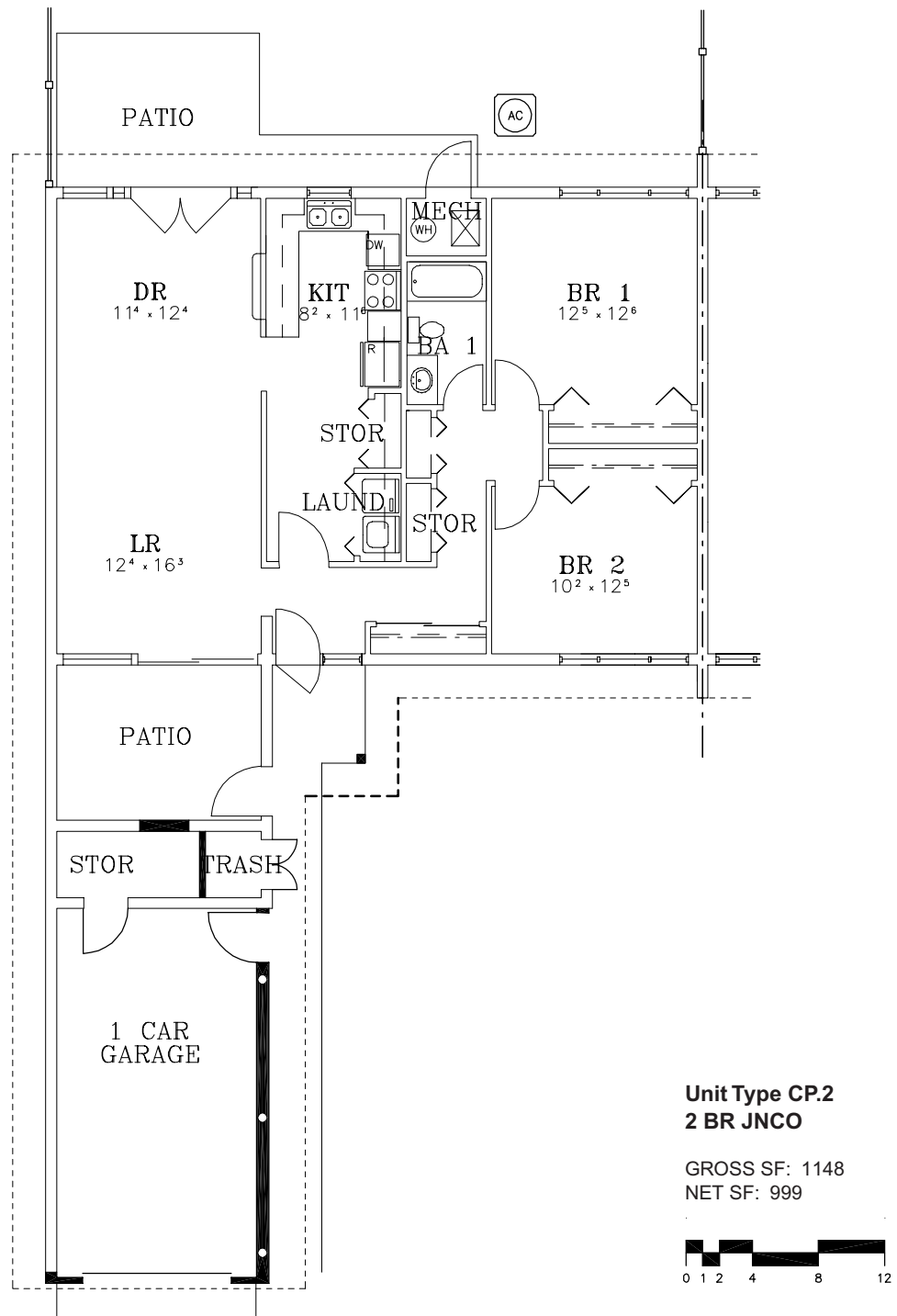
**House Sitework**

- Driveway to House: see House Plan Suitability.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade entire unit to provide proper slope away from foundation.

**House Plan Suitability**

- Covered Parking: site does not permit two car garage; enclose existing carport per proposed plan; provide garage door with electric opener.
- Architectural Aesthetics: add stucco build-out for window sills at front and rear of unit; create gabled dormer over entry with archway to improve aesthetics.

**EXISTING**

**PROPOSED**



### 4.3.6.1.1 Unit Type CP.2

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$1,710
Structural/Foundation/Exterior Walls	\$352
Structural/Other Building Elements	\$6,379
Mechanical	\$12,760
Electrical	\$2,675
General/All but Kitchen, Baths, Laundry	\$8,246
Kitchen	\$1,096
Bathroom #1	\$1,023
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$1,333
Special Assessments	\$7,454
House Sitework	\$6,102
House Plan Suitability	\$8,978
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$58,106</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$56,944</b>
<b>SIOH @3.00%</b>	<b>\$1,708</b>
<b>Contingency @5.00%</b>	<b>\$2,933</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$61,585</b>
<b>Escalation @3.33%</b>	<b>\$2,051</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$63,636</b>



#### 4.3.6.2 Unit Type CP.3.Q Capehart 2500-2600 Area

This one-story, three-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has an attached one car carport. Exterior walls are stucco with brick veneer accent.

This unit bears no historical designation. This unit was unoccupied at time of visit. This unit type has received renovation improvement work.

There are 72 SNCO and 46 JNCO 3 BR units of this type in this neighborhood.

	Existing	Proposed	Proposed
Floor Plan Type:	CP.3.Q	CP.3.Q.4	CP.3.Q
Gross Floor Area:	1384 sf	1856 sf	1433 sf
Net Floor Area:	1217 sf	1570 sf	1243 sf
Number of Bedrooms:	3	4	3
Number of Bathrooms:	2	2	2
Permanent Designation:	SNCO/JNCO	JNCO	JNCO
CAM Rating:	3.53		
FHU Assessed:	2593B Valencia Drive, SNCO		
Number of FHUs of this Type:	118	35	83

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7 inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; fair condition; shingles have been discolored and begun to curl due to condensation from coolers; evaporative coolers are mounted on top of roof; see Mechanical.
- Roof Pitch: sloped roof; good condition; meets 3:12 pitch minimum.
- Soffit/Fascia: wood; good condition; soffit is aluminum and fascia is wood.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; fair condition; one downspout is missing the lower section of spouting that turns away from building; the unit is missing all its concrete splashblocks at downspout locations.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; fair condition; areas of cracking, discoloration and peeling paint; brick veneer is used as an accent; areas of deteriorating grout and discolored brick.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: wood; fair condition; multiple coats of paint; dated.
- Doors - Sliding Glass: metal; fair condition; no secondary locking device.



*Right side elevation*



*Right side elevation*



*Rear elevation*





Kitchen



Bathroom 1

- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: single carport; good condition; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required for carport.
- Porch/Stoop: porch; good condition; concrete.
- Patio/Deck: concrete; excellent condition; one patio at rear of house with access from the Family Room and one at front of house with access from Living Room, both adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry units; good condition; located at rear of carport.
- Trash Enclosures: brick; fair condition; trash containers were located on patio behind exterior storage; containers are visible from sliding glass doors at Living Room.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; fair condition; vinyl fencing runs along rear property line; does not provide adequate screening; a stucco wing wall provides privacy between duplex unit; chain link fencing encloses rear yard.
- Landscaping: grass and trees; fair condition; one large shade tree in front yard, no shrubs.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; poor condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; deteriorated condition; badly rusted.
- Ductwork: galvanized; poor condition; contains solid particulate material.

- Register/Diffusers: metal; fair condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted, cover cracked.

## Electrical

- Electrical Panel: 100 amp; poor condition; inadequately sized. 150 amp minimum required.
- Receptacles: 15 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; fair condition; additional GFCI protected circuit necessary in the Kitchen.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; fair condition; fixtures in general in need of replacement.
- Smoke Detectors: alternating current; fair condition; alternating current with battery back-up required.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; fair condition; some exposed wiring; need additional outlets.
- Cable Hookups: coaxial; fair condition; some exposed wiring; need additional outlets.
- Service Disconnect: 100 amp; poor condition; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; fair condition; near end of useful life.



*Bathroom 2*

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; fair condition; mismatched, uneven.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; multiple coats of paint.
- Stairs (Interior): none; one-story unit.

- Doors - Interior: hollow core; fair condition; multiple coats of paint.
- Doors - Closet: wood; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; fair condition; worn surfaces.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped without a secondary eating area.

- Cabinets: wood; fair condition; interior and exterior finishes slightly worn.
- Counter Tops: laminated; fair condition; dated butcher block pattern; counter top seams uneven.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good; condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; fair condition; dated hood.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composite tile; fair condition; uneven, mismatched.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.

- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; older, noisy.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround and floor with glass door.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; fair condition; dated hardware; worn finish.

## Bathroom #3

- None; not required for this unit type.

## Laundry Room

- Location: closet; good condition; adjacent to Kitchen storage.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.

- Interior Hardware: metal; good condition.

### Special Assessments

- Water Quality (Lead): unit was constructed between 1920 and 1987, therefore, the probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: this unit was constructed before 1977; therefore, the probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: this unit was constructed before 1982, therefore the probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; fair condition; driveway does not meet minimum dimension requirements.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.

- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8" above grade.

### House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 10 sf; meets dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: substandard; does not meet minimum area by 10 sf and is below dimension requirements by 12"; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; not appropriate size by 8 inches; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: substandard; does not meet minimum area by 15 sf and does not meet dimension requirements by 7 inches.
- Kitchen: standard; meets minimum area and dimension requirements; lacks secondary dining area; good relationship to living areas, outside space, natural light. GFCI requirements met.
- Occupancy: inappropriate image/size for occupying grade.
- Covered Parking: attached single carport only (or none); compatible with house architecture; AF



standard is two car garage if site allows; site allows single garage.

- Overall Floor Plan: fair; inappropriate size for occupying grade (SNCO); undersized by 146 gross sf and 13 net sf; appropriate size for JNCO; appropriate functional relationships; appropriate egress; unit lacks dedicated interior storage, but oversized bedroom closets can be used for storage requirements.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; entry lacks visual impact.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt in attic.
- Roof Covering: replace discolored shingles.
- Gutters and Downspouts: install new gutters, new downspouts and splash blocks for entire unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: repair areas of damaged stucco 20%; paint unit after repairs; repoint areas of deteriorating brick 25%; clean brick to remove discoloration.
- Doors - Entry: install new steel insulated door with wide-angle viewer.
- Doors - Sliding Glass: replace sliding glass door with new vinyl clad insulated patio door.
- Doors - Hardware: install new dead bolt locks.

### Structural - Other Building Elements

- Trash Enclosure: reconfigure exterior storage and provide trash enclosure per proposed plan.
- Privacy Fencing: install new fencing to provide privacy at patio per proposed plan.
- Landscaping: install climate appropriate landscape and ground cover at foundation at front, side, and rear yard.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace with forced air gas furnace.
- Cooling System - Interior: provide interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Registers/Diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 amp panel.
- GFCI Receptacles/Breakers: add one GFCI receptacle circuit to Kitchen.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Phone Jacks: replace and add phone jacks, conceal wiring.
- Cable Hookups: replace and add cable jacks, conceal wiring.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.
- Light Switches: replace light switches.

**General - All but Kitchen, Baths, Laundry**

- Flooring - Vinyl: install carpet in living areas, ceramic tile at entry.
- Molding & Trim: replace existing trim with new paint grade wood trim.
- Doors - Interior: provide new hollow core wood doors.
- Closet Shelving: provide new wood closet shelving with proper support at ends and mid-span.

**Kitchen**

- Cabinets: provide new wood base/wall cabinets per proposed plan.
- Counter Tops: install new plastic laminated counter tops per proposed plan.
- Vent hood: install new vent hood.
- Flooring: install new ceramic tile flooring.

**Bathroom #1**

See House Plan Suitability.

**Bathroom #2**

- Interior Hardware: install new interior hardware.

**Bathroom #3**

No recommendation.

**Laundry Room**

See House Plan Suitability.

**Special Assessments**

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material.

- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composite tile and mastic, cove base and mastic, HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

**House Sitework**

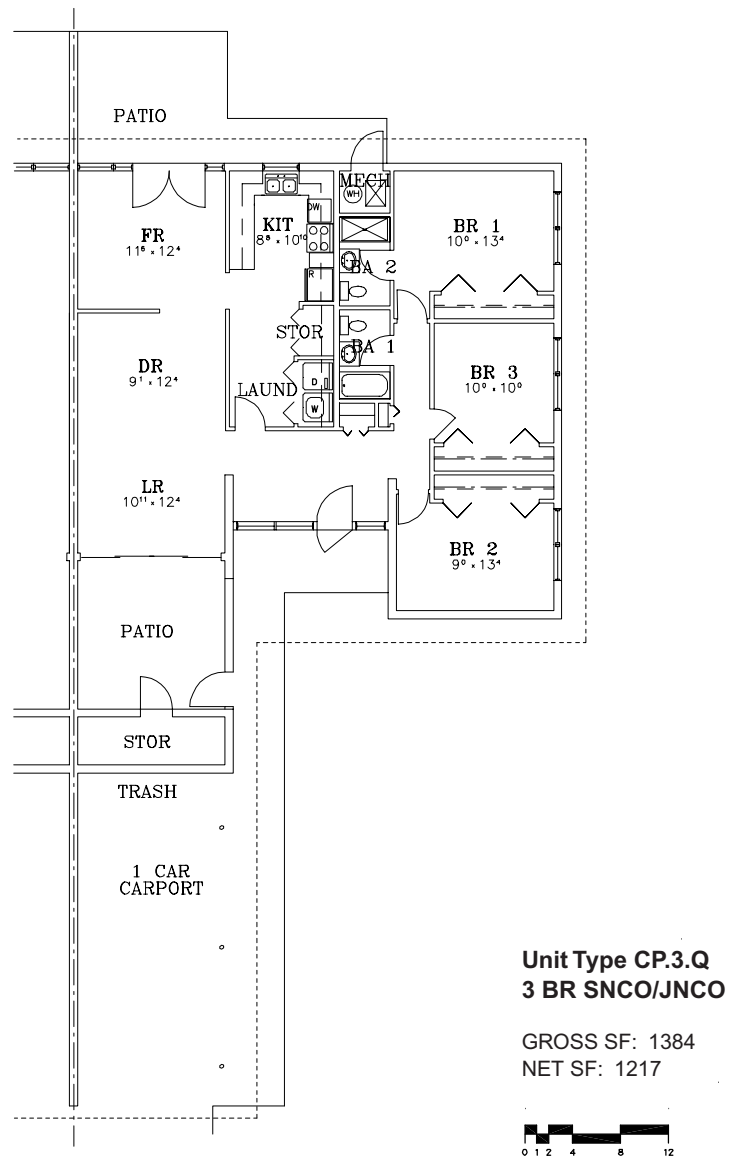
- Driveways to House: site does not allow for expansion of driveway length to street.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper slope away from foundation.

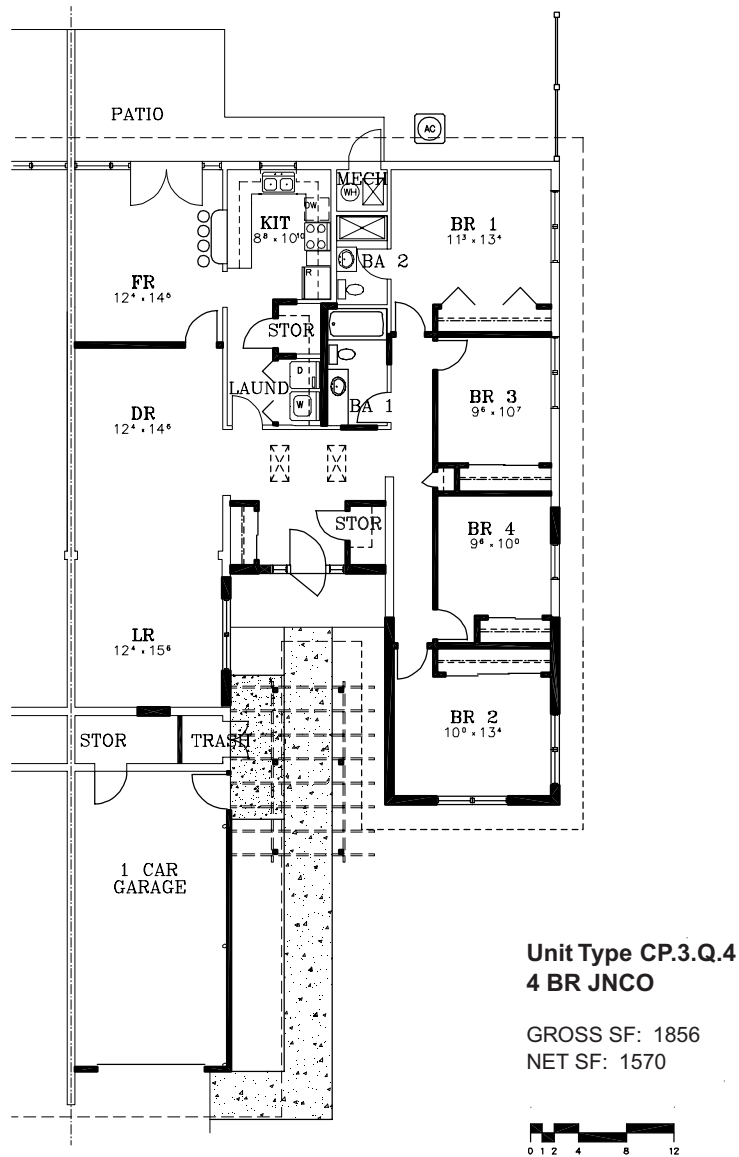
**House Plan Suitability**

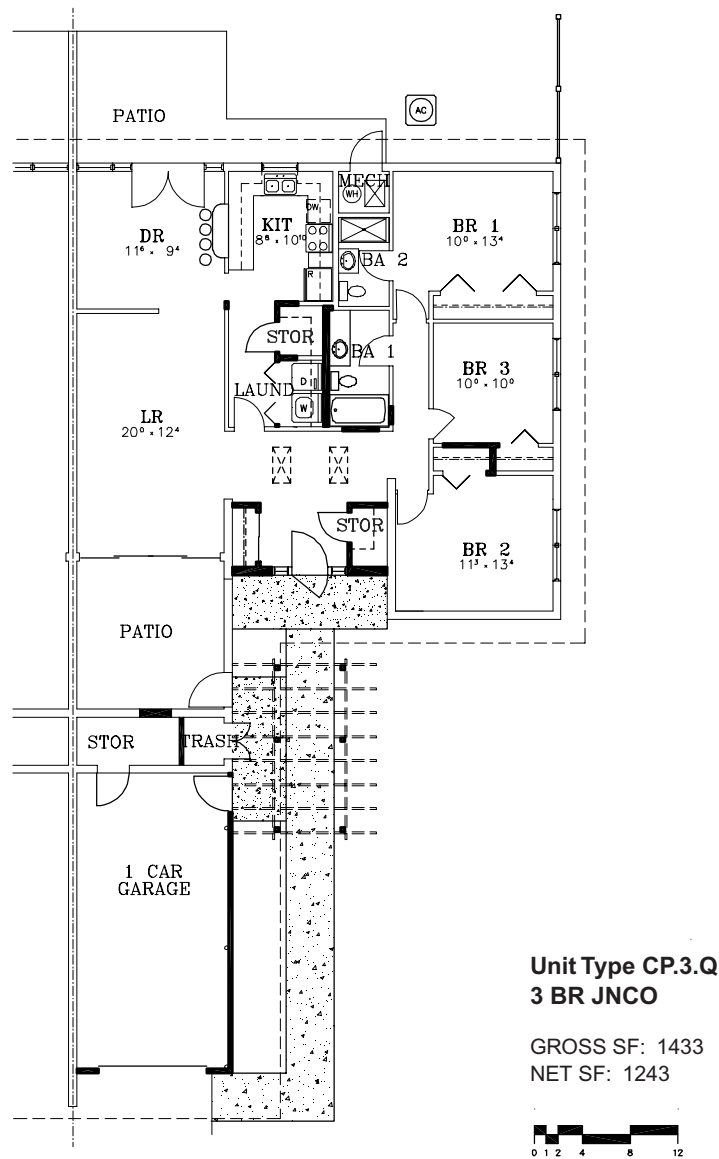
- Bedroom 1: for the 4 bedroom unit relocate closet to increase area of room to meet required standards; for the 3 bedroom unit it is not practical to reduce valuable closet space to meet standards of bedroom size; see proposed plan.
- Bedroom 2: 3 bedroom unit, reconfigure closet to increase area of room to meet required standards; for 4 bedroom units, reconfigure and designate as Bedroom 4; provide 15'-7" addition to front of unit for Bedroom 2; see proposed plan.
- Bathroom for Bedroom 2,3,4: provide new wood vanity, cultured marble counter top, molded bowl sink and fixture hardware; relocate toilet and tub; provide new ceramic tile tub/shower surround; install ceramic tile floor due to expansion of room; replace existing exhaust fan and provide duct and exterior louver; expand bathroom per proposed plan.
- Living Room: expand Living Room into enclosed patio, remove all finishes and other components; install new window, electrical, mechanical, and

finishes to make this space usable; see proposed plan.

- Kitchen: provide new counter for secondary eating area.
- Occupancy: convert all units to JNCO 3 and 4 bedroom units.
- Covered Parking: enclose carport per proposed plan to provide one car garage; provide garage door and electric opener.
- Overall Floor Plan: convert all units to JNCO 3 and 4 bedroom units; expand storage closet and adjacent Laundry; expand entry and provide new entry closet due to Bathroom 1 expansion; provide an additional interior storage closet at entry and add skylights in foyer per proposed plan.
- Architectural Aesthetics: add trellis to accentuate front entry; center new trellis on front entry door and provide a new concrete walk per proposed plan.

**EXISTING**

**PROPOSED**

**PROPOSED**





FRONT ELEVATION

**Unit Type CP.3.Q.4**  
**4 BR JNCO**

GROSS SF: 1856  
NET SF: 1570



**PROPOSED**

### 4.3.6.2.1 Unit Type CP.3.Q.4

## Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,907
Structural/Foundation/Exterior Walls	\$3,559
Structural/Other Building Elements	\$5,987
Mechanical	\$14,399
Electrical	\$5,776
General/All but Kitchen, Baths, Laundry	\$8,757
Kitchen	\$11,083
Bathroom #1	\$0
Bathroom #2	\$598
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,617
House Sitework	\$6,102
House Plan Suitability	\$52,119
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$118,904</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$116,526</b>
<b>SIOH @3.00%</b>	<b>\$3,496</b>
<b>Contingency @5.00%</b>	<b>\$6,001</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$126,023</b>
<b>Escalation @3.33%</b>	<b>\$4,197</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$130,220</b>

### 4.3.6.2.2 Unit Type CP.3.Q

## Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,458
Structural/Foundation/Exterior Walls	\$3,779
Structural/Other Building Elements	\$5,595
Mechanical	\$14,399
Electrical	\$5,776
General/All but Kitchen, Baths, Laundry	\$10,445
Kitchen	\$11,083
Bathroom #1	\$0
Bathroom #2	\$598
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,617
House Sitework	\$6,102
House Plan Suitability	\$21,063
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$88,915</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$87,136</b>
<b>SIOH @3.00%</b>	<b>\$2,614</b>
<b>Contingency @5.00%</b>	<b>\$4,488</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$94,238</b>
<b>Escalation @3.33%</b>	<b>\$3,138</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$97,376</b>

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#### 4.3.6.3 Unit Type CP.3.R Capehart 2500-2600 Area

This one-story, three-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has attached one car carport.

Exterior walls are stucco with brick veneer accent. This unit bears no historical designation.

This unit was unoccupied at time of visit. This unit type has received minor renovation improvement work.

There are 36 SNCO and 26 JNCO 3 BR units of this type in this neighborhood.

	Existing	Proposed
Floor Plan Type:	CP.3.R	CP.2.R.2
Gross Floor Area:	1345 sf	1345 sf
Net Floor Area:	1172 sf	1083 sf
Number of Bedrooms:	3	2
Number of Bathrooms:	2	2
Permanent Designation:	SNCO/JNCO	JNCO
CAM Rating:	3.53	
FHU Assessed:	2541B Valencia Drive, JNCO	
Number of FHUs of this Type:	62	62

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition; evaporative coolers are mounted on roof; condensation has discolored shingles; condensation lines have been added to house gutters.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition; there is also painted wood soffits.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: stucco; good condition; at carports fire-rated drywall extends full height to underside of roof deck.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; brick veneer is used as an accent around house; brick has been discolored.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; no secondary locking device; some air penetration at Living Room and Family Room door.
- Doors - Storm/Screen: none; required; base standard to provide screen door.



*Right side elevation*



*Rear elevation*





Kitchen



Bathroom 1

- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: single carport; fair condition; some noticeable stucco wall repair; did not use same color on repair work; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required for carport.
- Porch/Stoop: porch; good condition; concrete; one at rear of house with access from Family Room and one covered patio at side of house with access from the Living Room, both adequately sized.
- Patio/Deck: concrete; excellent condition; one patio at rear of house with access from Family Room and one covered patio at side of house with access from Living Room; both adequately sized.
- Balcony: none; not required.
- Storage Areas: located at rear of carport; good condition.
- Trash Enclosures: concrete; fair condition; trash containers were located on the patio behind exterior storage; trash visible from Living Room sliding glass door.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing located at rear property line and at one end of house.
- Landscaping: grass and trees; poor condition; no shrubbery and trees to provide shade.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; poor condition; corroded at base; insufficient combustion air, T/P valve outlet is restricted.
- Heating System: gas; fair condition; insufficient combustion air.
- Cooling System - Interior: none; required.

- Cooling System - Exterior: evaporative cooler; deteriorated condition; corrosion at base, components missing.
- Ductwork: galvanized/insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; fair condition; painted; dented.
- Fire Protection: none; required.
- Thermostat: electric; fair condition; painted; cover cracked.

### Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 15 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; air Force standard requires a hard wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; poor condition; need additional outlets and general repair and maintenance.
- Cable Hookups: coaxial; poor condition; need additional outlets and general repair and maintenance.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

### General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; poor condition; broken tiles, uneven tile joints and mismatched colors for replacement tiles.
- Flooring - Wood: none; not required.



*Bathroom 2*

- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; multiple coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; fair condition; some wear on door finishes.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; fair condition; the long unsupported spans of shelving have caused sagging of shelves.
- Interior Hardware: metal; fair condition; worn finish.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped, lacks secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; fair condition; noticeable seams in counter top.
- Sink: stainless sink, double; fair condition; slightly worn finish.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; fair condition; older unit.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composite tile; fair condition; large and uneven joints in tile and mismatched replacement tiles.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composite tile; fair condition; large and uneven joints and mismatched replacement tiles.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround and glass door.
- Flooring: vinyl composite tile; fair condition; large uneven tile joints.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #3

- None; not required for this unit type.

## Laundry Room

- Location: closet; good condition; adequate size; adjacent to Kitchen.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: metal; good condition.
- Interior Hardware: metal; good condition.

## Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987, therefore probability of lead content is moderate; test indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977, therefore probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

## House Sitework

- Walkways to House: concrete; good condition.

- Driveways to House: concrete; good condition; only one car can park in the driveway.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

## House Plan Suitability

- Bedroom 1: substandard; below minimum area by 18 sf and meets minimum dimensions; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: substandard; does not meet the minimum area by 10 sf and dimension requirements by 12"; closet space meets minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; inappropriate size by 8 inches; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements; contiguous with Living Room.

- Living Room: substandard; does not meet minimum area by 18 sf and does dimension requirements; smoke detector serves living/Dining Room.
- Kitchen: standard; meets minimum area and dimension requirements; unit lacks secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: inappropriate image/size for occupying grade (JNCO) by 25 gross sf.
- Covered Parking: attached single carport only (or none); compatible with house architecture; does not meet garage requirement; current AF standard is two car garage if site allows; site allows single garage.
- Overall Floor Plan: fair; inappropriate size for JNCO by 25 gross sf; does not meet minimum acceptable size for SNCO by 185 gross sf and 58 net sf; appropriate functional relationships; appropriate egress; unit lacks minimum interior storage space.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; front entry is not visible from street.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt in attic.
- Roof Covering: replace discolored shingles.

### Structural - Foundation/Exterior Walls

- Doors - Siding Glass: replace sliding glass door with new vinyl clad insulated patio door at living and dining rooms.
- Doors - Storm/Screen: install screen door on entry door.
- Doors - Hardware: install new dead bolt locks.

### Structural - Other Building Elements

- Garage/Carport: paint stucco; see House Plan Suitability.
- Trash Enclosure: reconfigure exterior storage to provide trash enclosure.
- Landscaping: install climate appropriate landscape, trees, and ground cover at foundation at front, side, and rear yard.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace; see Water Heater.
- Cooling System - Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Register/Diffusers: replace registers and grilles.
- Fire Extinguisher: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 amp minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Phone Jacks: replace 3 and add 2 phone jacks.
- Cable Hookups: replace 2 and add 2 cable jacks.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.



**General - All but Kitchen, Baths, Laundry**

- Flooring - Vinyl: install carpet in living areas, ceramic tile at entry.
- Molding & Trim: replace existing trim and door casing.
- Doors - Closet: provide new hollow core wood doors.
- Closet Shelving: install new painted wood shelving.
- Interior Hardware: install new hardware.

**Kitchen**

- Counter Tops: install new plastic laminated counter top.
- Sink: install new double bowl stainless steel sink.
- Vent Hood: install new vent hood; provide duct and exterior louver.
- Flooring: remove existing flooring and install new ceramic tile flooring.

**Bathroom #1**

See House Plan Suitability.

**Bathroom #2**

- Flooring: remove existing flooring and install new ceramic tile flooring.

**Bathroom #3**

No recommendation.

**Laundry Room**

No recommendation.

**Special Assessments**

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composite tile and mastic; cove base and mastic HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixture are in good condition.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

**House Sitework**

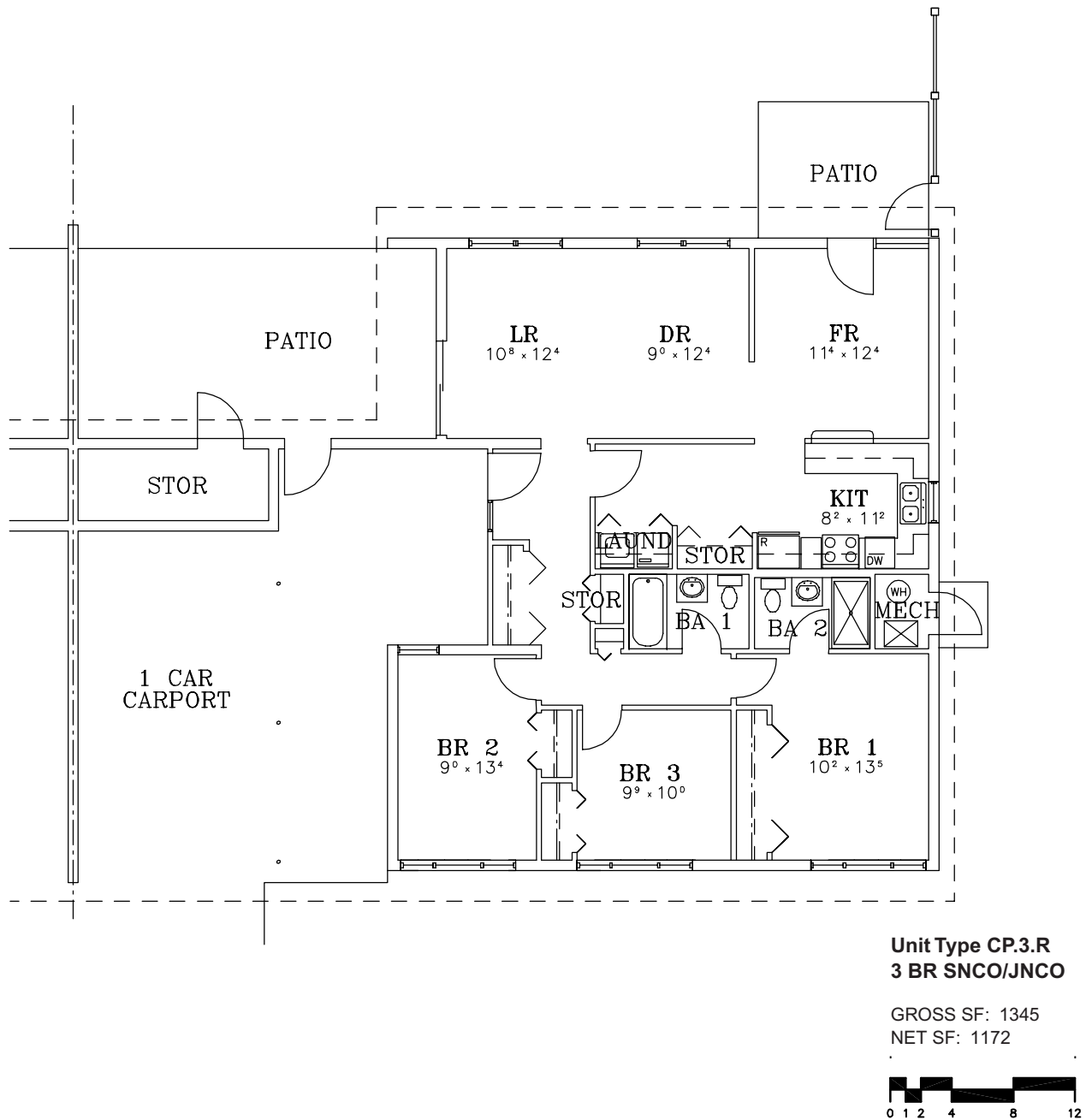
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade to provide proper slope away from foundation.

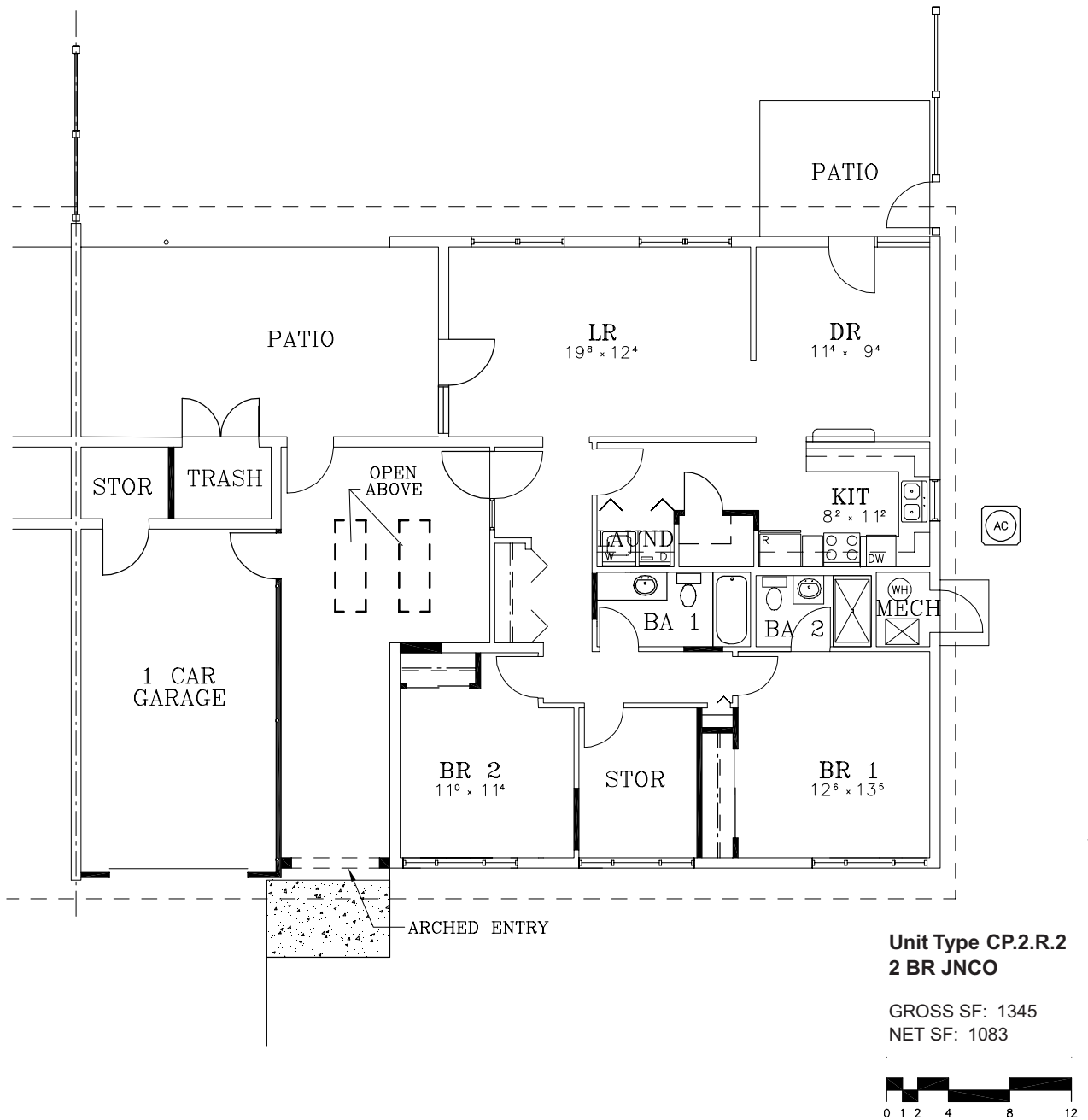
**House Plan Suitability**

- Bedroom 1: relocate closet and door into Bedroom 1 to increase area; see proposed plan.
- Bathroom for Bedroom 1: convert all units to 2 bedroom units; bathroom not required, but will remain.
- Bedroom 2: reconfigure closet to increase area of room to meet required standards; see proposed plan.
- Bathroom 2,3,4: expand bathroom per proposed plan; provide new wood vanity with cultured marble counter top, molded bowl and fixture hardware; relocate toilet and tub/shower; provide new ceramic tile tub surround; install new ceramic tile flooring and base; provide new toilet accessories.
- Living Room: expand Living Room into space utilized by Dining Room, redesignate Family Room as Dining Room per proposed plan; Family Room not required for two bedroom unit.
- Kitchen: secondary eating area not required for 2 bedroom unit.



- Occupancy: convert all units to JNCO 2 bedroom units.
- Covered Parking: enclose carport per proposed plan to create one car garage; provide garage door with electric opener.
- Overall Floor Plan: convert all units to JNCO 2 bedroom units; redesignate Bedroom 3 as interior storage per proposed plan.
- Architectural Aesthetics: open roof at entry courtyard to provide light and provide an arched entrance between garage and unit to enhance entry visibility from street.



**PROPOSED**

### 4.3.6.3.1 Unit Type CP.3.R.2

## Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$3,246
Structural/Foundation/Exterior Walls	\$15,881
Structural/Other Building Elements	\$4,840
Mechanical	\$14,303
Electrical	\$9,079
General/All but Kitchen, Baths, Laundry	\$10,654
Kitchen	\$2,168
Bathroom #1	\$0
Bathroom #2	\$2,010
Bathroom #3	\$0
Laundry Room	\$577
Special Assessments	\$7,583
House Sitework	\$3,097
House Plan Suitability	\$15,947
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$89,385</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$87,598</b>
<b>SIOH @3.00%</b>	<b>\$2,628</b>
<b>Contingency @5.00%</b>	<b>\$4,511</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$94,737</b>
<b>Escalation @3.33%</b>	<b>\$3,155</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$97,892</b>



#### 4.3.6.4 Unit Type CP.4.Q Capehart 2500-2600 Area

This one-story, four-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has one car attached carport. Exterior walls are stucco with brick veneer accent.

The unit bears no historical designation. This unit was unoccupied at time of visit. This unit type has received minor renovation improvement work.

	<b>Existing</b>	<b>Proposed</b>	<b>Proposed</b>
Floor Plan Type:	CP.4.Q	CP.3.Q.2	CP.4.Q
Gross Floor Area:	1628 sf	1628 sf	1724 sf
Net Floor Area:	1338 sf	1333 sf	1421 sf
Number of Bedrooms:	4	3	4
Number of Bathrooms:	2	2	2
Permanent Designation:	SNCO	SNCO	SNCO
CAM Rating:	3.63		
FHU Assessed:	2615A Colfax		
Number of FHUs of this Type:	22	12	8

\*Note: 2 units scheduled for demolition

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7 inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; fair condition; gutter section along carport is damaged.
- Chimneys: none; not required.
- Fire Walls: concrete masonry units; good condition.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; fair condition; noted minor cracking and peeling paint from stucco with brick veneer accent.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; minor corrosion of window finish from high alkali soil content.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; fair condition; screening has small holes.
- Doors - Entry: metal; fair condition; bad weather stripping.
- Doors - Sliding Glass: aluminum; fair condition; no secondary locking device; broken seal on glass panel.
- Doors - Storm/Screen: aluminum; fair condition; bad weather stripping.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.



*Rear elevation*



*Left side elevation*



*Kitchen*





Bathroom 1



Bathroom 2

### Structural - Other Building Elements

- Garage/Carport: single carport; fair condition; concrete slab has cracking and spalling; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required for carport.
- Porch/Stoop: stoop; fair condition; improperly sized by 6 sf.
- Patio/Deck: concrete; good condition; patio at rear of unit adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry units; good condition; located at rear of carport; minimal access.
- Trash Enclosures: concrete masonry unit; good condition; shared space with exterior storage.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing at rear corner of unit; a stucco finish concrete block wall provides privacy between units.
- Landscaping: grass and trees; fair condition; one small shrub in front of house, no mature trees.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; excessive blower noise.
- Cooling System - Interior: direct exchange coil; fair condition.
- Cooling System - Exterior: direct exchange coil; fair condition; some corrosion at base; piping insulation deteriorated condition.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted.



## Electrical

- Electrical Panel: 100 amp; poor condition; located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; excellent condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; fair condition; need minor maintenance and repair.

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped without a secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink; double; good condition.
- Sink Fixtures: chrome; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; fair condition; worn heating element.
- Garbage Disposal: standard; fair condition; older model.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves bedrooms 2, 3 and 4.

- Cabinets: wood; fair condition; worn finish.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composite tile; fair condition; loose at toilet.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; older unit.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; fair condition; worn finish.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround and glass door.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #3

- None; not required for this unit type.

## Laundry Room

- Location: closet; fair condition; adequate size; adjacent to Kitchen; creates moisture in adjacent Kitchen storage; large accordion door does not screen sound.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

## Special Assessments

- Water Quality (Lead): unit was constructed between 1920 and 1987, therefore, the probability of lead content is moderate; test indicate no lead in the water.

- Lead Based Paint: this unit was constructed before 1977, therefore, the probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: this unit was constructed before 1982, therefore, the probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

## House Sitework

- Walkways to House: concrete; fair condition; the walks at the front and rear of the house has settled toward the foundation causing a tripping hazards at rear patio and drainage problem along foundation.
- Driveways to House: concrete; fair condition; does not meet minimum dimensions; has cracked and spalled.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.

- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8 inches above grade.

### House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 21 sf and meets dimensions; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: substandard; does not meet minimum area by 21 sf and meets dimensions requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space meets requirement; smoke detector in hall.
- Bedroom 4: standard; meets minimum area and dimension requirements; closet space exceeds requirement; smoke detector in hall.
- Bathroom for Bedroom 2,3,4: substandard; not appropriate size for function. 4'-4" x 7'-3"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: standard; meets minimum area and dimension requirements; contiguous with Living Room.
- Living Room: above standard; exceeds minimum area and dimension requirements; smoke detector serves Living and Dining Rooms.
- Kitchen: standard; meets minimum area requirements; does not meet the minimum dimension requirements by 4 inches; unit lacks secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single carport only (or none); compatible with house architecture; AF

standard is two car garage if site allows; site allows for single car garage.

- Overall Floor Plan: fair; not the appropriate size for occupying grade undersized by 22 gross sf; appropriate functional relationships; appropriate egress; unit lacks minimum interior storage.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide with R-30 fiberglass batt in attic.
- Gutters/Downspouts: replace damaged gutter at garage.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: repair areas of damaged stucco (approximately 25%); paint entire unit.
- Window Frames: continue to monitor corrosion of window frames; future window replacement maybe required if corrosion continues.
- Windows - Screen: replace all screens.
- Doors - Entry: install new weather stripping.
- Doors - Sliding Glass: install new insulated sliding glass door; provide safety bar for secondary locking device.
- Doors - Storm/Screen: install new weather-stripping.
- Doors - Hardware: install new dead bolt locks on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: remove and replace existing concrete slab; refer to House Plan Suitability.
- Porch/Stoop: extend concrete stoop per proposed plan.

- Storage Area: reconfigure storage/trash into separate storage and trash areas per proposed plan.
- Trash Enclosure: reconfigure to provide separate trash area per proposed plan.
- Landscaping: install climate appropriate landscape and ground cover at foundation at front, side, and rear yard.

## Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper tubing.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas for 3 BR unit and 50 gallon for 4 BR unit; provide a new mechanical room door with air grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

## Electrical

- Electrical Panel: replace electric panel with 150 amp panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.
- Light Switches: replace approximately 10 light switches.

## General - All but Kitchen, Baths, Laundry

No recommendation.

## Kitchen

- Dishwasher: install new dishwasher.
- Garbage Disposal: replace garbage disposal.

## Bathroom #1

See House Plan Suitability.

## Bathroom #2

- Cabinets: replace existing wood vanity cabinet with new; provide new one-piece culture marble sink/counter top per proposed plan.

## Bathroom #3

No recommendation.

## Laundry Room

- Location: remove accordion door and install new flush wood door; separate storage from Laundry per proposed plan.

## Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composite tile and mastic, cove base and mastic, HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor.

- Termites: treat regularly for termite prevention.

### House Sitework

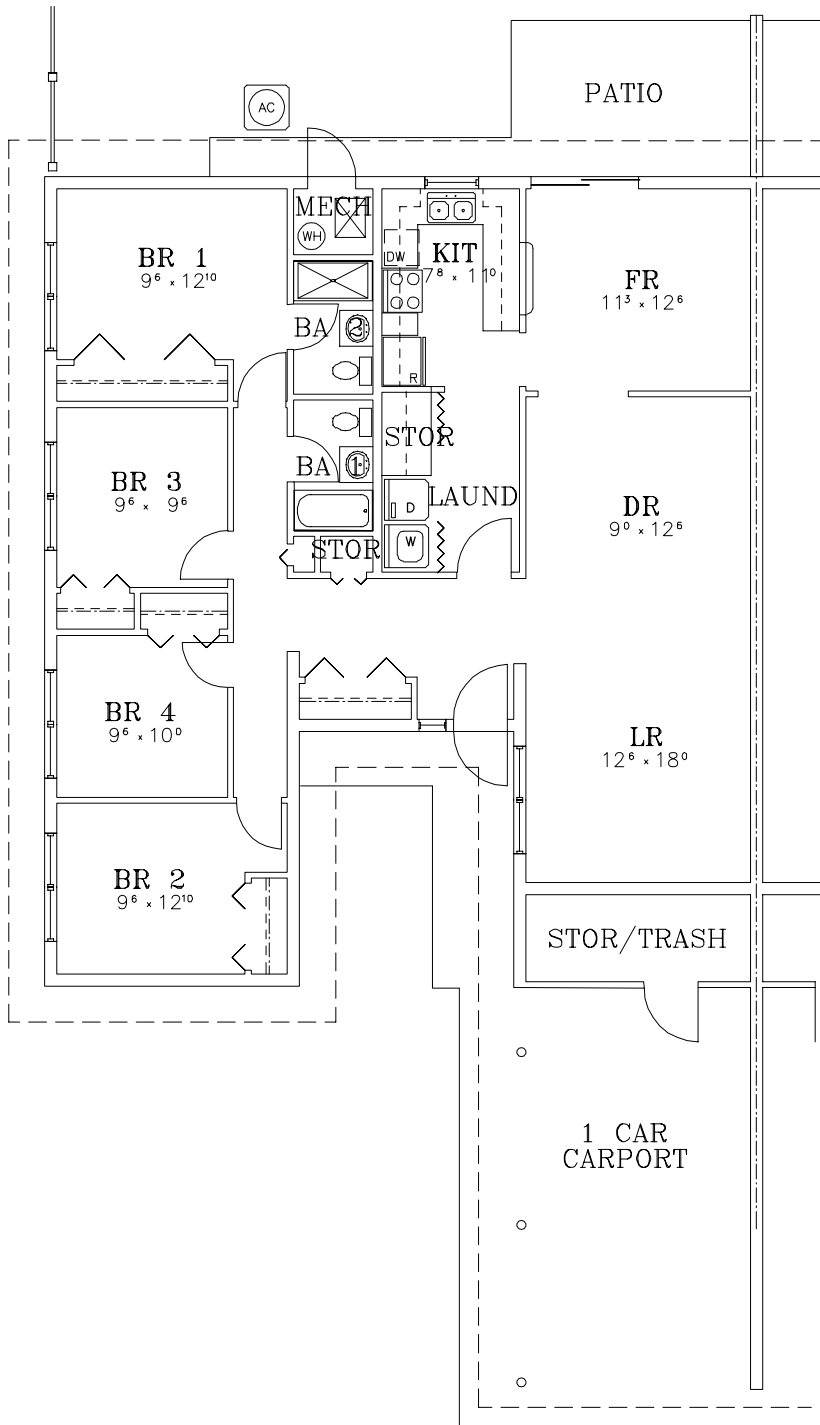
- Walkways to House: provide new concrete walk at front and rear of unit per proposed plan.
- Driveways to House: remove and replace existing driveway with new per proposed.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade to provide proper slope away from foundation.

### House Plan Suitability

- Bedroom 1: reconfigure bedroom spaces to increase area of bedroom to meet requirements; see proposed plan.
- Bedroom 2: reconfigure bedroom spaces to increase area of bedroom to meet requirements; see proposed plans; a 6'-9" addition will be required for 4 bedroom unit.
- Bathroom for Bedroom 2,3,4: provide new wood vanity with one-piece culture marble sink/counter top and fixture hardware; install new ceramic tile floor; install new exhaust fan; provide duct and exterior louver; expand per proposed plan.
- Kitchen: add counter to provide secondary eating area.
- Covered Parking: enclose carport to provide one car garage; provide garage door and electric opener per proposed plan.
- Overall Floor Plan: provide additional storage closet to three bedroom unit; add skylights above entry foyer to brighten interior and add visual interest; see proposed plan.
- Architectural Aesthetics: add a window with shutters to the front elevation of Bedroom 2; enlarged front entry porch and provide a railing with columns supporting a new covered entry.

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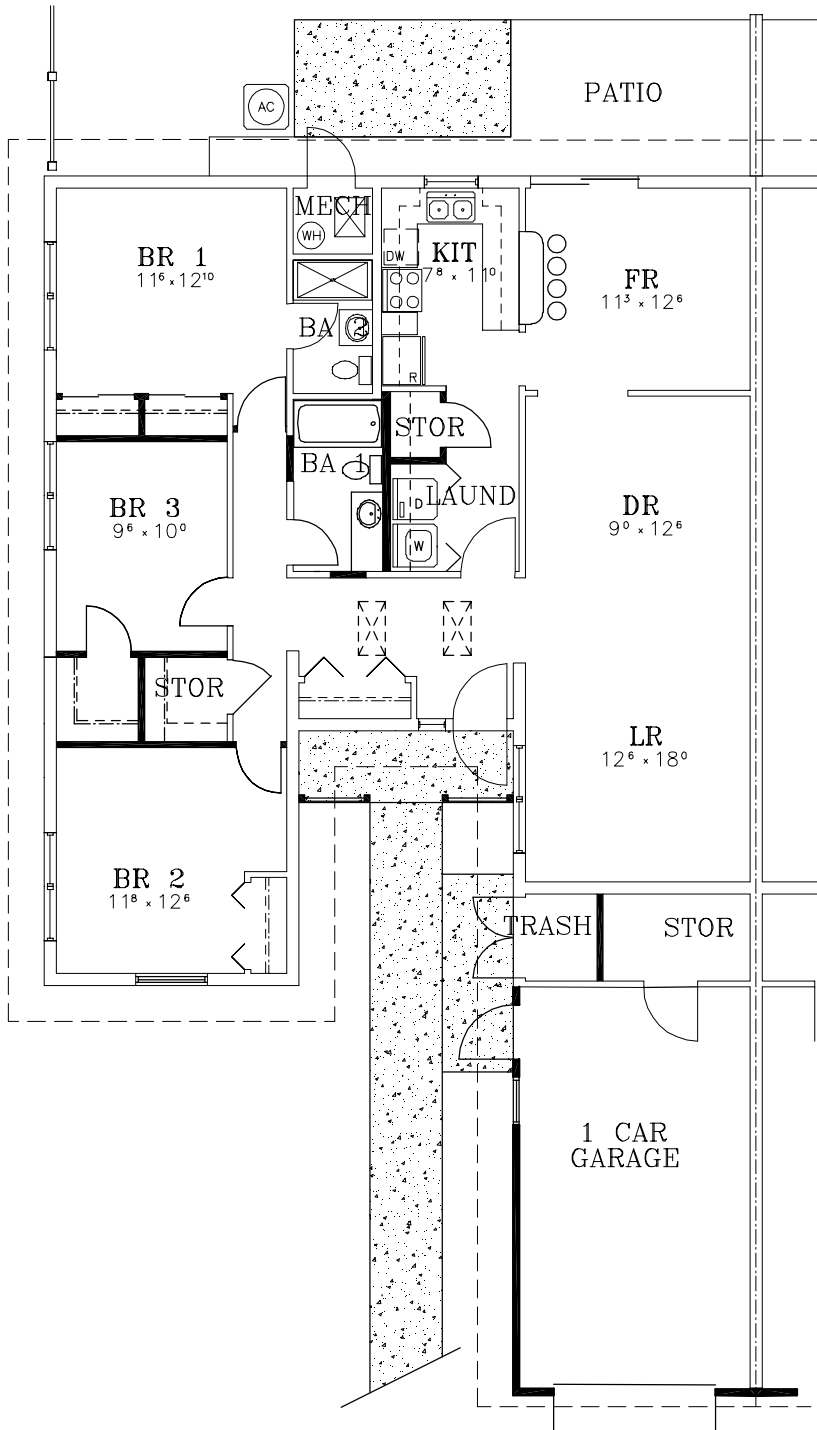


**Unit Type CP.4.Q**  
**4 BR SNCO**

GROSS SF: 1628  
NET SF: 1338



**EXISTING**

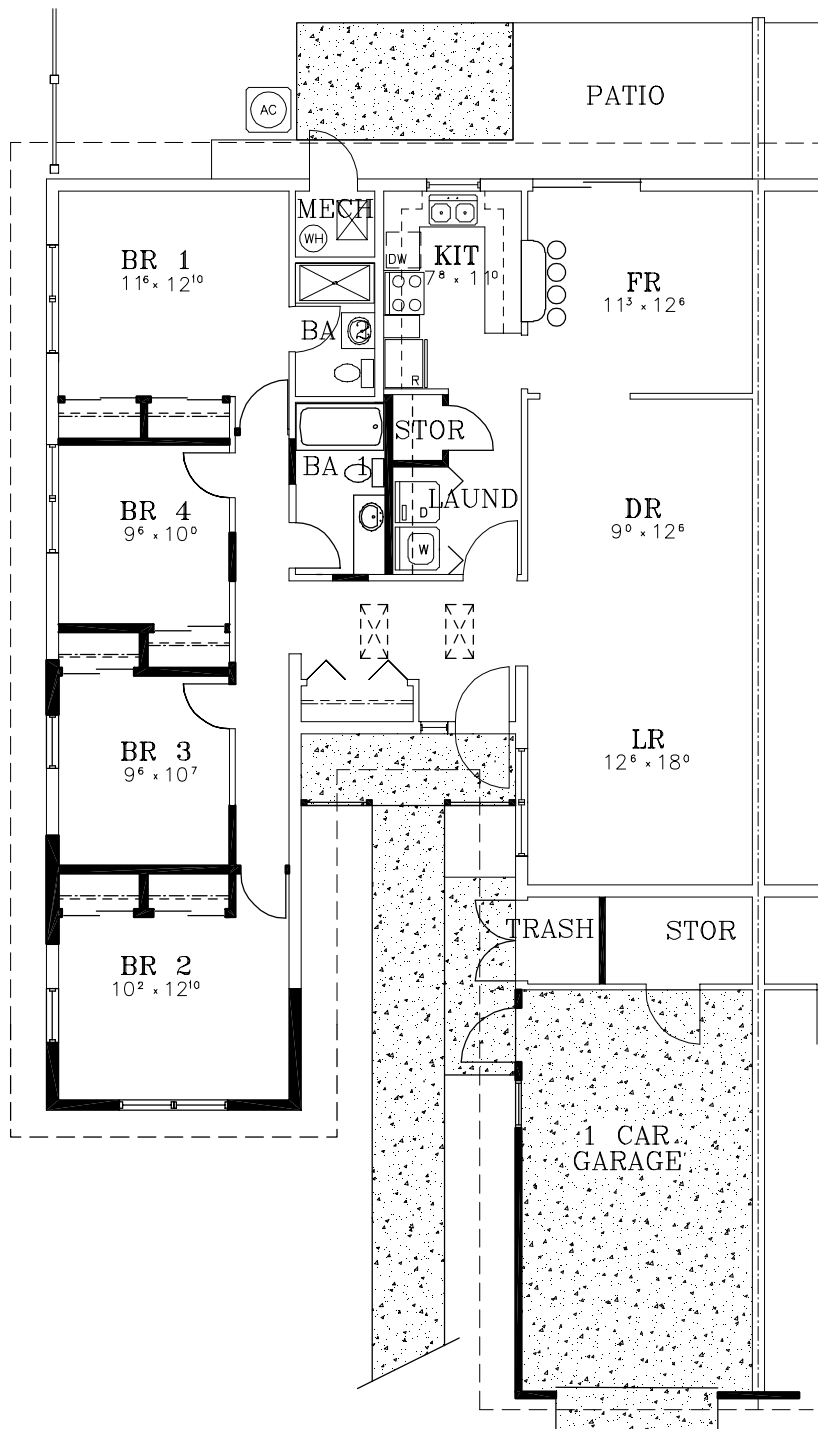


**Unit Type CP.3.Q.2**  
**3 BR SNCO**

GROSS SF: 1628  
NET SF: 1333



**PROPOSED**



**Unit Type CP.4.Q**  
**4 BR SNCO**

GROSS SF: 1724  
NET SF: 1421



**PROPOSED**



**Unit Type CP.4.Q**  
**4 BR SNCO**

GROSS SF: 1724  
NET SF: 1421



**PROPOSED**

#### 4.3.6.4.1 Unit Type CP.3.Q.2

### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,372
Structural/Foundation/Exterior Walls	\$3,646
Structural/Other Building Elements	\$5,692
Mechanical	\$14,886
Electrical	\$2,333
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$1,136
Bathroom #1	\$0
Bathroom #2	\$528
Bathroom #3	\$0
Laundry Room	\$861
Special Assessments	\$7,728
House Sitework	\$7,961
House Plan Suitability	\$19,411
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$66,553</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$65,222</b>
<b>SIOH @3.00%</b>	<b>\$1,957</b>
<b>Contingency @5.00%</b>	<b>\$3,359</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$70,537</b>
<b>Escalation @3.33%</b>	<b>\$2,349</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$72,886</b>

### 4.3.6.4.2 Unit Type CP.4.Q

## Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,464
Structural/Foundation/Exterior Walls	\$3,646
Structural/Other Building Elements	\$5,692
Mechanical	\$15,151
Electrical	\$2,333
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$1,136
Bathroom #1	\$0
Bathroom #2	\$528
Bathroom #3	\$0
Laundry Room	\$861
Special Assessments	\$7,728
House Sitework	\$7,795
House Plan Suitability	\$29,701
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$77,035</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$75,494</b>
<b>SIOH @3.00%</b>	<b>\$2,265</b>
<b>Contingency @5.00%</b>	<b>\$3,888</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$81,647</b>
<b>Escalation @3.33%</b>	<b>\$2,719</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$84,365</b>



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#### 4.3.6.5 Unit Type CP.4.R Capehart 2500-2600 Area

This one-story, four-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has an attached one car carport.

This unit was unoccupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.4.R	CP.3.R.2
Gross Floor Area:	1343 sf	1374 sf
Net Floor Area:	1105 sf	1105 sf
Number of Bedrooms:	4	3
Number of Bathrooms:	2	2
Permanent Designation:	SNCO	JNCO
CAM Rating:	3.39	
FHU Assessed:	2579B Valencia Drive	
Number of FHUs of this Type:	12	12

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; fair condition; shingles have been discolored by condensation from coolers; existing evaporative coolers are mounted on top of roof; shingles have been discolored by condensation from coolers; see Mechanical.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; fair condition; soffit discolored; fascia is wood with areas of peeling paint and deteriorating.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; fair condition; missing rear downspout and splashblock.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; fair condition; areas of cracking, discoloration and peeling paint; brick veneer is used as an accent; areas of deteriorating grout and discolored brick.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; fair condition; window finish appears to be corroding.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; fair condition; screening is torn.
- Doors - Entry: wood; fair condition; multiple coats of paint; an atrium door leads out to the front patio from the Living Room; doors are in fair condition.



*Right side elevation*



*Rear elevation*



Kitchen



Bathroom 1

- Doors - Sliding Glass: none; not required.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: single carport; fair condition; does not meet minimum width by 2 feet.
- Garage Door: none; not required with carport.
- Porch/Stoop: none; concrete slab from carport extends over to entry door.
- Patio/Deck: concrete; good condition; adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry units; good condition; located at rear of carport.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: brick; fair condition; wall repaired and re-cracked again possibly due to settlement; chain link encloses rear yard.
- Landscaping: grass and trees; fair condition; minimal shrubs, no mature trees.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: steel; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; excessive blower noise.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; poor condition; corrosion at base; damaged.
- Ductwork: galvanized; fair condition; insulated; contains solid particulate material.
- Register/Diffusers: metal; poor condition; painted over; damaged.
- Fire Protection: none; required.
- Thermostat: digital; poor condition; painted; cover cracked.

## Electrical

- Electrical Panel: 100 amp; poor condition; inadequately sized; 150 amp minimum required.
- Receptacles: 15 amp; fair condition; dated.
- GFCI Receptacles/Breakers: receptacle; fair condition; located where required.
- Wiring: 3 wire; fair condition; not properly grounded; dated.
- Lighting Fixtures: incandescent and fluorescent; fair condition; dated.
- Smoke Detectors: alternating current; fair condition; alternating current with battery back-up required.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; deteriorated condition; need additional outlets.
- Cable Hookups: coaxial; deteriorated condition; need additional outlets.
- Service Disconnect: 100 amp; poor condition; 150 amp minimum required.
- Light Switches: single post, single throw; fair condition; near end of useful life.



*Bathroom 2*

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; fair condition; uneven appearance.
- Molding & Trim: wood; fair condition; one door with no casing, another area of possible water damage to wood base.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: hollow core; fair condition; doors beginning to delaminate at corners.
- Doors - Closet: wood; fair condition; worn finish.
- Window Treatment (Blinds): mini blinds; good condition.